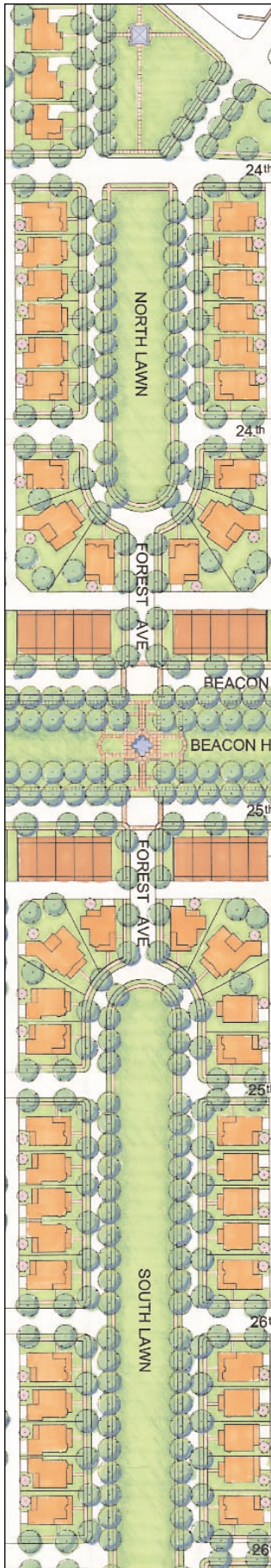


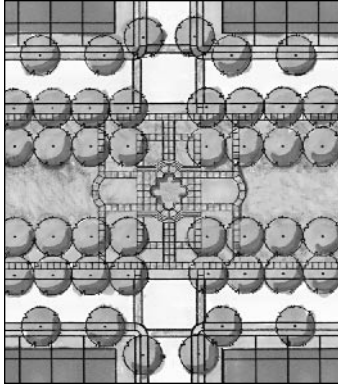
# *Beacon Hill Development Handbook*

**Beacon Hill Developers, L.L.C.**



**HNTB Corporation - Seidel/Holzman**

November 30, 2001



## ***Beacon Hill Neighborhood Development Handbook***

**November 30, 2001**

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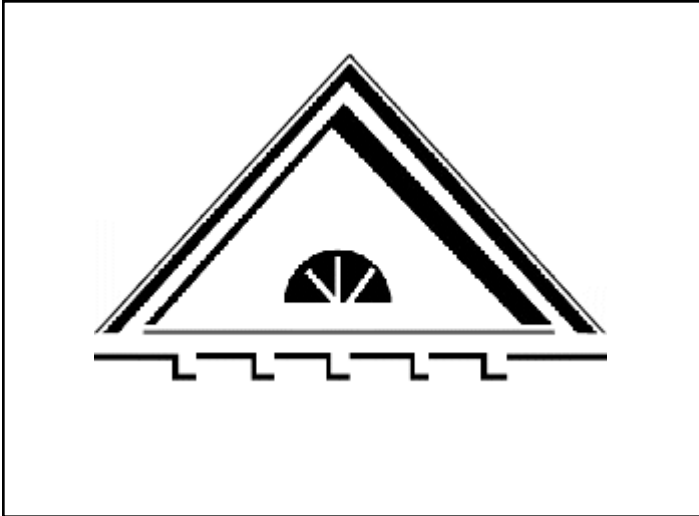
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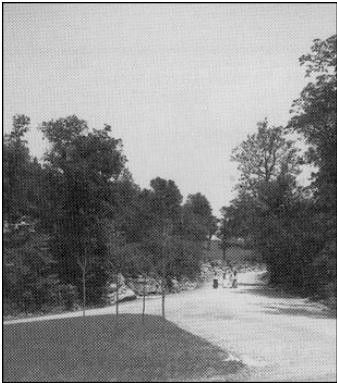


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Historic Multi-family

The intent of the Beacon Hill Master Plan is to guide the redevelopment of the Beacon Hill neighborhood into a vital center city neighborhood with modern infrastructure, ample and attractive public improvements, and to add significant new residential housing. Retaining and upgrading select houses in the neighborhood is also anticipated.

Several factors will be major determinants in the redevelopment plan, including the existing grid of rights of way for streets, alleys, and utilities, the hilly topography of the area, and the introduction of a major new freeway, Bruce Watkins Drive, adjacent to and intersecting the plan area. The retention of approximately 100 existing dwelling units is also proposed, encouraging existing residents to remain in the area and retaining much of the existing architectural character still extant in the neighborhood.

## **Urban Pattern**

In light of the fact that a number of large employers exist within walking distance of the neighborhood, and that the neighborhood is served by existing public transportation, emphasis is placed on creating a walkable district that is both attractive and secure for its residents.

Higher density housing is placed in along Troost Avenue, which is a transportation corridor, and a connection to nearby downtown Kansas City. Troost Avenue is the subject of a study for a future fixed guideway transit connecting key points and employment centers in Kansas City. This corridor is an appropriate location for higher density housing types, as well as commercial and retail uses.

The existing block pattern consists of extremely long and deep blocks. Some blocks are over 900 feet in length, oriented parallel to Troost, discouraging walking and transit rider ship.

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# *introduction*



Cliff Drive Fountain

In order to improve neighborhood scale, walkability and access, the plan proposes to introduce new mid-block streets known as "terraces". Terraces currently exist in other areas of Kansas City and are typically known to punctuate blocks between consecutively numbered streets. Hence, 25th Terrace will be created between 24th and 25th Streets for example, following the Kansas City pattern.

Running generally transverse to the numbered streets and to the numbered streets and terraces will be a pattern of Avenues and lanes. Avenues (the primary residential streets in the plan) will be improved with new curb and gutters and sidewalks, landscaped rights-of-way, utilities and decorative lighting. Parallel visitor parking is permitted on these streets. Homes will front the Avenues.

The lanes (redevelopments of existing and proposed midblock rights- of-way) are intended to accommodate vehicular access to each residence, as well as additional utilities. With this means of vehicular access, the plan seeks to mitigate the impact of the automobile on the public streetscape and enhance the pedestrian and visual character of the neighborhood.

## **Community Open Space**

A number of new public open spaces are planned as part of the neighborhood. Beacon Hill Commons will serve as a gateway into the neighborhood, visible from Troost Avenue at one end, and extending to Tracy at the opposite end. A site for new neighborhood community center is identified at the end of the commons near Tracy Avenue, in keeping with the central role the commons occupies in the plan. Townhouses line the commons giving it a distinct urban character and identifying it as a center of the neighborhood.

Several smaller neighborhood parks identified as North Lawn, South Lawn, and Prospect Circle will create community open space throughout the plan.

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Finally, a linear landscape will follow the Paseo and Bruce R. Watkins Drive in the tradition of Kansas City's parkways. These wide rights-of-way allow for the development of trails as well as the ability to buffer these more heavily traveled roadways.

### **Residential Types**

A variety of housing types will be employed in realizing the plan. Higher density townhouses are planned to accommodate ground level parking with rear access from a lane and will utilize berming or split levels to obtain entries within  $\frac{1}{2}$  a story of street level.

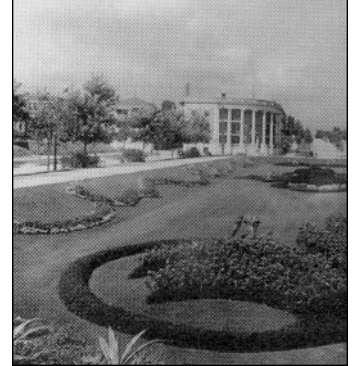
New single family lots are planned to be smaller and higher density than the prevailing lot pattern in Kansas City, offering a new small lot urban prototype. This type brings houses closer to the street, and accommodates an attached garage and small private yard at the rear.

Infill single family lots will follow the prevailing pattern of development on blocks where a number of structures are being retained. New infill homes will match the generally larger front setbacks of their neighbors and obtain auto access from the rear of the lots by newly improved lanes.

The renovation of four existing multifamily structures along 27th Street is expected to result in 12 residential flats.

Robinson Hospital, a multi-level structure of architectural interest is also planned to add an additional stock of residential flats in the future, potentially for elderly residents.

Finally, a number of existing residences are planned to be retained. Some of these are owner occupied and will be rehabilitated by owner-occupants. The others will be upgraded as part of the plan for the neighborhood and resold to new residents.



Sunken garden in The Paseo

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A neighborhood is an organization of many components and layers of planning and design. The layout of streets, the size of lots, the mix of housing types, places for people, places for children, community gathering places, inviting vistas, landscaping and open space all combine to form a neighborhood.

The residents of Beacon Hill, the Beacon Hill Task Force, concerned citizens and interested investors have considered this plan in some detail. The plan is organized around a series of green spaces to provide community gathering areas, relief from the street grid and establish neighborhood character. This is a place for all ages and types of people, with a mix of incomes and professions all of whom will be welcome and invited to call Beacon Hill home.

The following plans illustrate the design concepts:

- 1 Existing Conditions Plan
- 1 Land Use Plan
- 1 Unit Type Plan
- 1 Landscape Plan
- 1 Phasing Plan

## **Existing Conditions**



Existing aerial photograph, March 2001.

The Beacon Hill neighborhood that was once one of the premier places to live in Kansas City at the turn of the 20th century is long gone. Many proud owners still reside in this community, but most of the original home have been removed. Long blocks oriented in a north south direction still exist. Unfortunately, these blocks are overgrown with unkempt vegetation and poorly maintained infrastructure.

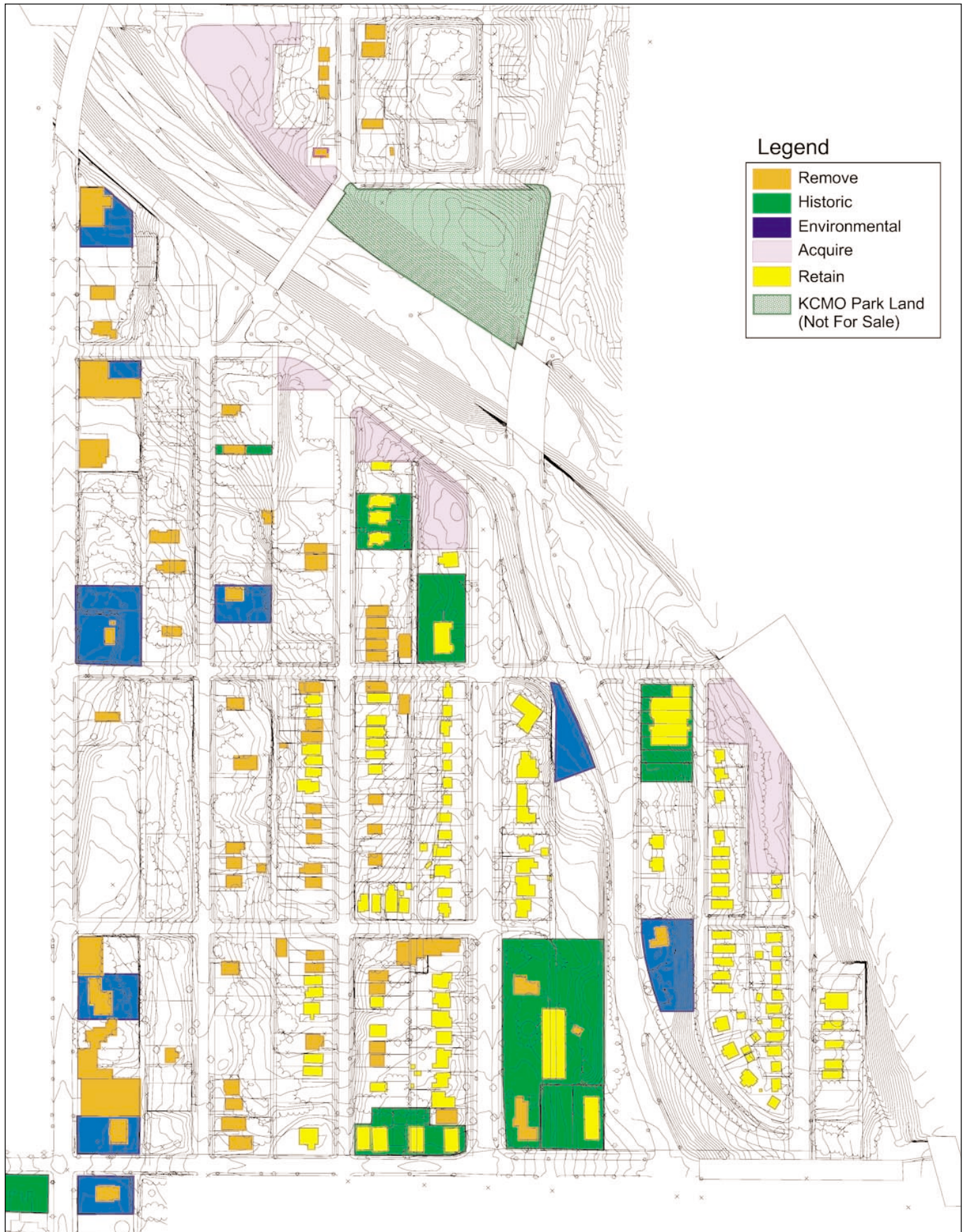
The adjacent diagram identifies housing units that will be removed because rehabilitation is not economically viable. Other units that have potential historic significance will be subject to additional review before renovation or removal. Housing condition evaluations will be performed by HEDFC. Existing housing units may be rehabilitated or demolished based upon more detailed evaluation during redevelopment. The dwelling units that remain will be subject to the design guidelines in this document and the owners will be required to improve the condition of these units.

Some parcels are being tested for environmental reasons and will be mitigated.

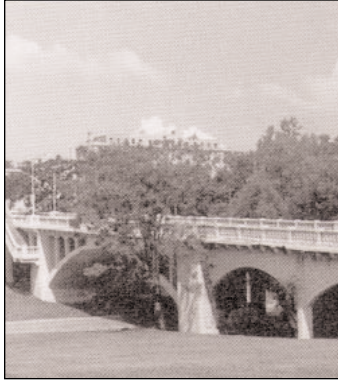
Land that was acquired for the Bruce R. Watkins Drive is to be purchased by the City of Kansas City, Missouri and transferred as part of the overall development plan.

Existing infrastructure including streets, curbs, sidewalks, sewers, street lighting, streetscape, landscape and utilities have been evaluated and a plan developed for repair or replacement.









27th Street Bridge

## **Land Use Plan**

The Beacon Hill neighborhood will be a distinctive mix of land uses and housing styles designed to meet the needs of the many different buyers.

Townhomes will be located along Troost Avenue, Beacon Hill Commons, Mount Prospect and 27th Street to define the edges of the neighborhood and encourage pedestrian activity that is inviting and vital. Amenities of the townhome development include attached garages, neighborhood greens, play spaces for residents, easily accessible parking on quiet surrounding lanes, and walkable distances to nearby transit stops and institutions.

### **Permitted Uses**

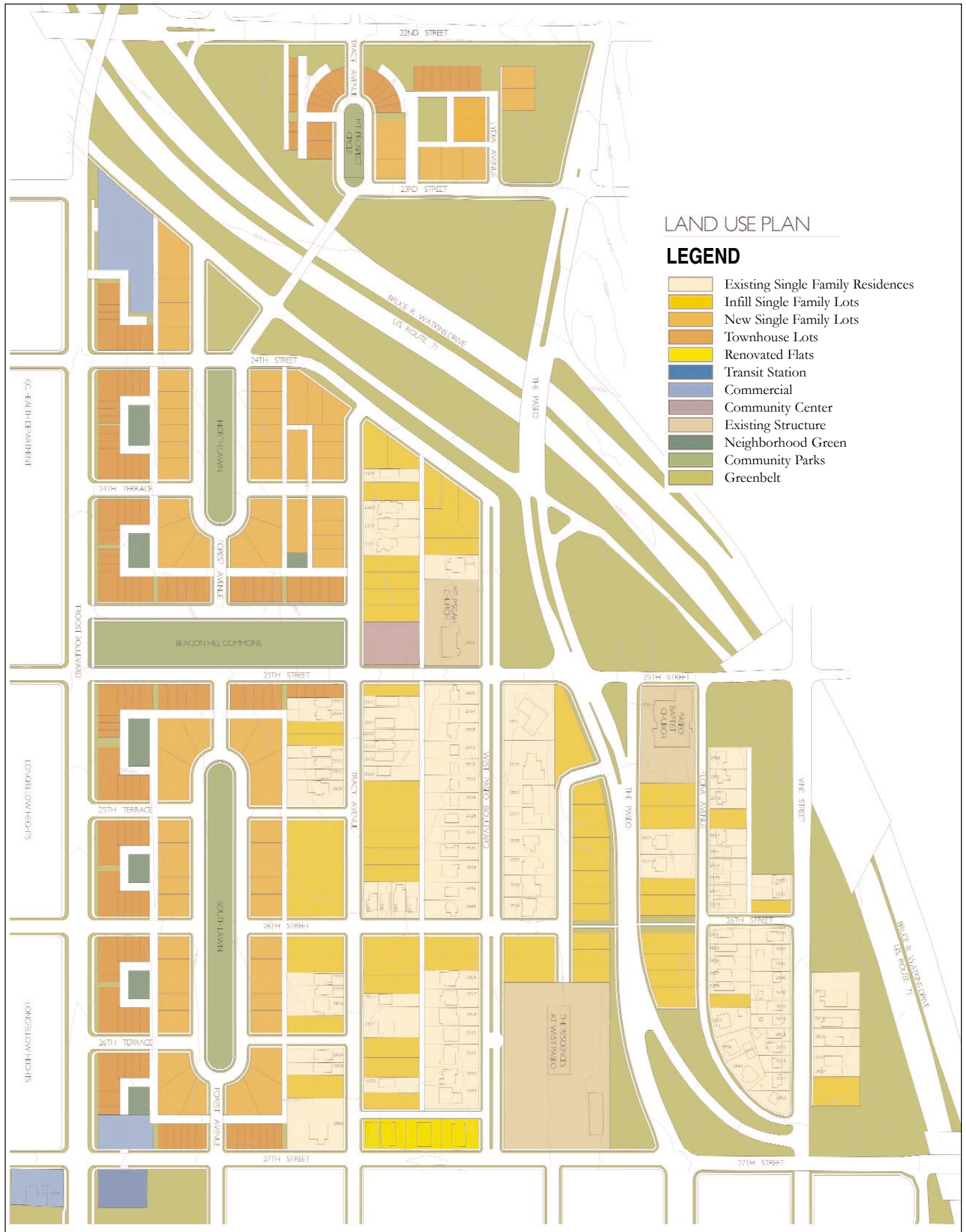
Residential parcels shall be developed with for sale and/or rental:

- 1 single family detached units
- 1 townhouses,
- 1 flats, and/or
- 1 apartments (Robinson Hospital)

Accessory permitted within the residential parcels may include support uses such as:

- 1 detached garages,
- 1 leasing offices,
- 1 club houses and community center,
- 1 meeting rooms,
- 1 granny flats (such as a unit above a garage),
- 1 live-work units,
- 1 fitness facilities, and
- 1 other residential amenities.

Commercial/residential mixed use parcels shall permit ground level commercial/retail uses and commercial or residential uses above ground level on designated parcels along Troost Avenue.





View to Downtown

## **Phasing Plan**

Redevelopment of the Beacon Hill neighborhood shall take place in phases to maximize the efficient use of funding while minimizing disruptions to the residents and is intended only as a road map for redevelopment. The pace of development will be dependent on market forces and the availability of public funding. Phasing is only intended to illustrate order of development. Phase 1A and 2A will begin concurrently.

### **Phase 1A**

This phase includes new townhomes, rehabilitated existing single family units and new single family detached units. This phase may include 75 to 85 units.

### **Phase 1B**

This phase includes new townhomes, rehabilitated existing single family units and new single family detached units. This phase may include 60 to 70 units.

### **Phase 2A**

This phase includes rehabilitated existing single family units, new single family detached units, and the renovation of four existing apartments that would be (renovated to into 12 flats. This phase may include 140 to 150 units.

### **Phase 2B**

This phase is intended to redevelop the vacant Robinson Hospital site. This building may be used for elderly apartment units if economically feasible.

### **Phase 3**

This phase includes new townhomes and new single family detached units. This phase may include 90 to 100 units.

### **Phase 4**

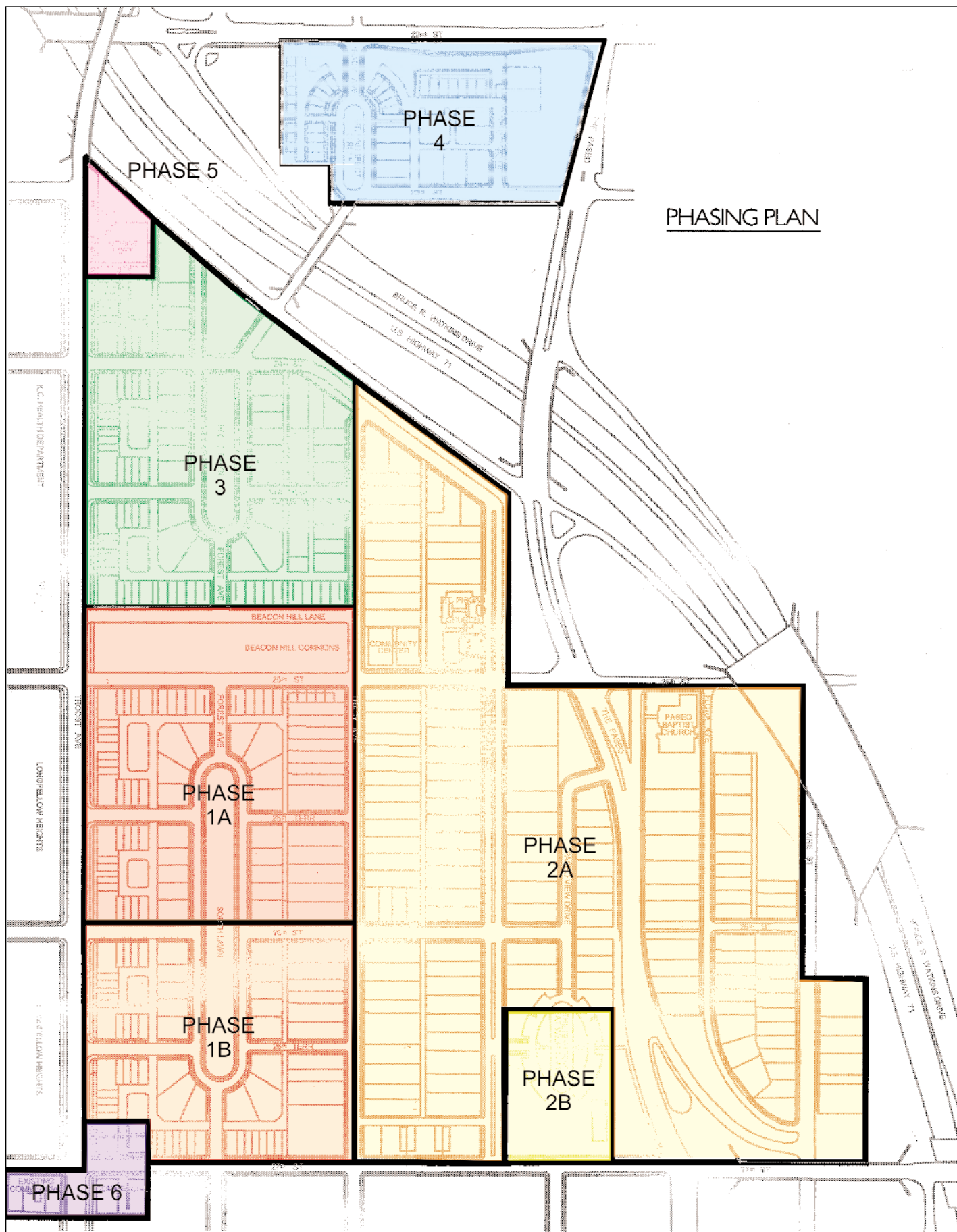
This phase includes new townhomes and new single family detached units. This phase may include 40 to 50 units.

### **Phase 5**

This phase includes office and residential uses.

### **Phase 6**

This phase includes commercial uses, including two retail and transit center.







View to Downtown

## ***Landscape Plan***

Landscape is an essential component to the overall success of the master plan. Landscape connects all of the lots, streets and open spaces. The concept of the plan is to use historically formal plantings in a modern way to link the neighborhood into the existing Kansas City Parks and Boulevards system along the Paseo and to create a sense of community.

Landscape will integrate buildings into their surroundings, unify design elements and create pedestrian interest. The plan uses landscape elements to frame and focus views throughout the community.

Street trees will be planted in a traditional manner--between the curb and sidewalk--throughout the plan area. Each street may have its own street tree type. Along Troost Avenue, a double row of street trees will be planted to soften this hard urban edge. More details about streetscape are explained in the *Streets* section of this document.

Parks are located throughout the plan area to enhance the neighborhood character and provide common public open spaces for residents.

Existing mature landscape will be maintained where possible.





Kessler fountain

## ***Design Guidelines***

### **Neighborhood Development**

- 1 Buildings located at gateways shall mark the transition into and out of the neighborhood in a distinct fashion using massing, additional height, contrasting materials, and/or architectural embellishments to obtain this effect.
- 1 Focal points shall be indicated by community markers, public art or other appropriate feature.
- 1 Buildings shall define the streetscape through the use of uniform setbacks along each block. The streetscape shall also be reinforced by shade tree plantings, and may be further reinforced by walls, ornamental trees, hedges, or appropriate fences (such as wrought iron and not including chain link) which define front yards.
- 1 Exterior public and semi-public spaces, such as courtyards or plazas, shall be designed to be functional, to enhance surrounding buildings, and to provide amenities for users, in the form of textured paving, landscaping, lighting and street trees. Courtyards shall have recognizable edges defined on at least three sides by buildings, walls, and elements of landscaping in order to create a strong sense of enclosure.
- 1 Building location and type shall be considered in terms of relationship to the height and massing of adjacent buildings, as well in relation to the human scale.
- 1 Buildings shall front towards and relate to public streets, green spaces, and maintained alleys both functionally and visually, to the greatest extent possible. Buildings shall not front toward a parking lot.

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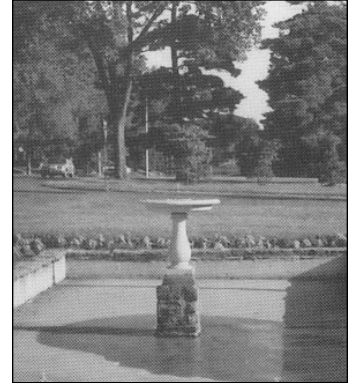
1 Spatial relationships between buildings and other structures shall be geometrically logical. On a site with multiple buildings, those located on the interior of the site shall front towards and relate to one another, both functionally and visually. A site with multiple buildings may be organized around features such as courtyards, greens, or quadrangles which encourage pedestrian activity. Smaller, individualized groupings of buildings are encouraged. Buildings shall be located to allow for adequate fire and emergency access in accordance with adopted building codes.

1 Building shall be setback in a way that defines a linear street edge and public right-of-way.

1 The majority of sidewalks, pedestrian ways and trails throughout the project will be concrete. Where special conditions allow, special paving materials, such as brick or concrete pavers, will be used to connect pedestrian amenities across a public right-of-way.

1 Walls and fences shall be architecturally compatible with the style, materials, and colors of the principal building on the same lot.

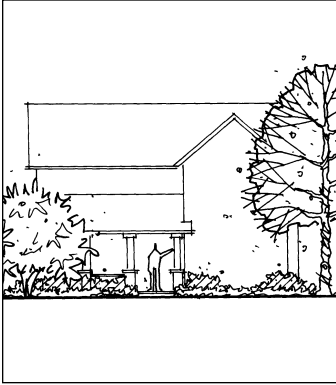
1 All air conditioning units, HVAC systems, exhaust pipes or stacks, elevator housing, and satellite dishes/telecommunication devices shall be screened from view of the public right of way and other properties by using walls, fencing, roof elements, penthouse-type screening devices, or landscaping.



Fountain in Ward Parkway







## **Introduction and Design Intent**

The following chapter illustrates prototypical building types and lots landscape. These are examples to show how unit plans can be organized to fit on the existing and proposed lots.

Residences shall generally relate in scale and design features to adjacent housing, showing respect for their local context. As a general rule, units shall reflect a continuity of treatment obtained by maintaining the building scale or by subtly graduating changes; by maintaining front yard setbacks at the build-to line; by maintaining base courses; by use of front porches; by maintaining cornice lines on buildings of the same height; by extending horizontal lines of fenestration; and by echoing architectural styles and details, design themes, building materials, and colors used in surrounding buildings.

The following floor plans, building elevations and landscapes are for illustrative purposes and include the following examples:

- 1 Existing Single Family Lot
- 1 New Single Family Lot
- 1 Infill Single Family Lot
- 1 Townhouse



Traditional Kansas City Home

## ***Unit Plan***

A variety of residential units compose the new Beacon Hill Neighborhood. This includes rehabilitating existing single family houses, infill single family detached units on existing lots and between renovated houses, and new single family units on new lots. Higher density units will be part of the residential choices in Beacon Hill. The plan includes several types of townhomes and apartment units within the existing structures along 27th Street and the Robinson Hospital structure.

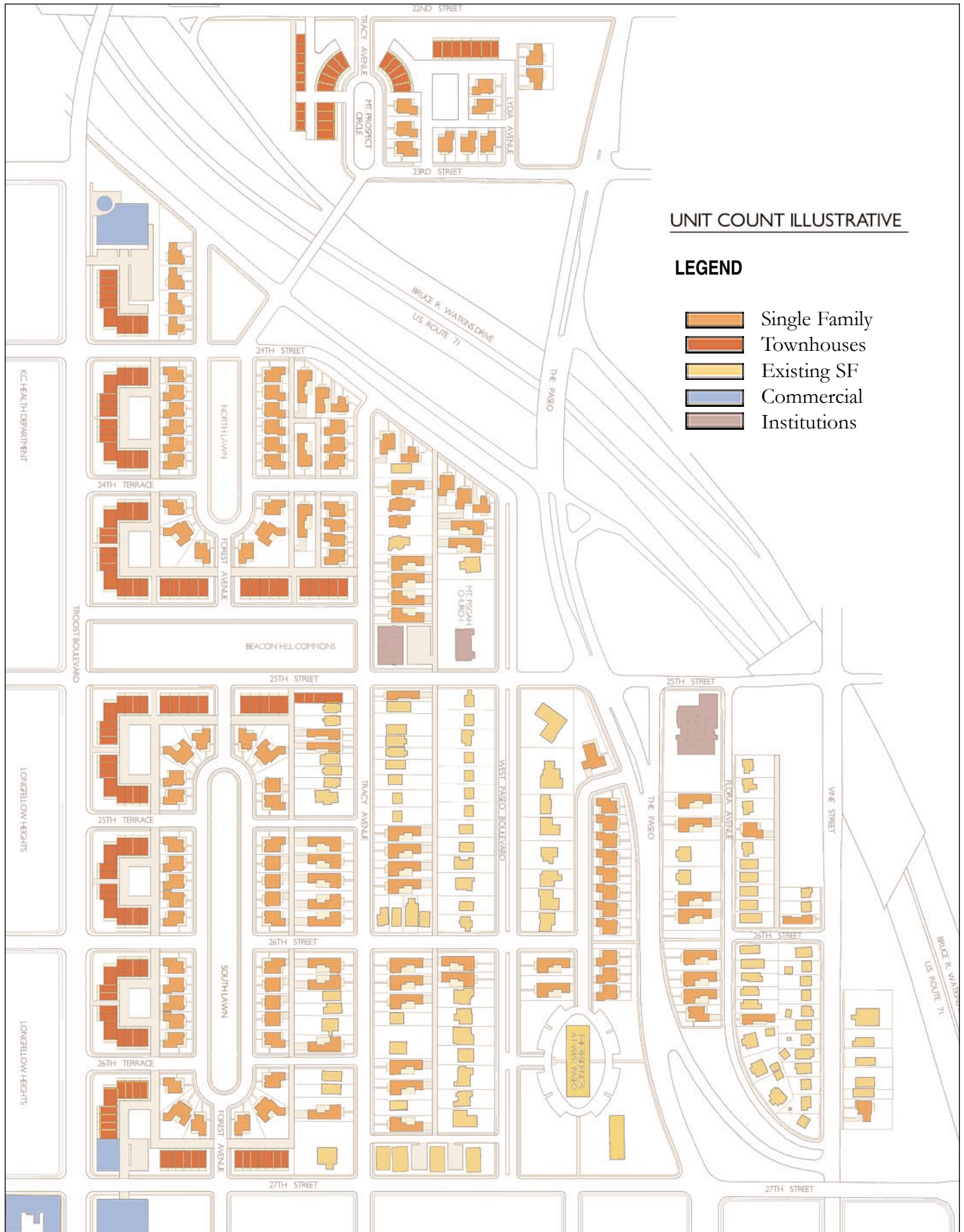
Mixed use office, commercial and residential buildings are located along Troost Avenue. Specific uses and size of the buildings will be evaluated based on market conditions.

The following is summary of the types of residential units that are included in the plan.

<b>Use</b>	<b>Units</b>
Existing Single Family	75 -- 85
New Single Family (includes infill units)	162 -- 180
Townhomes	167 -- 180
Apartments	12 -- 25
Robinson Hospital	not yet defined
Live-work units	not yet defined
<b>Total Units</b>	<b>416-500</b>

### **Other Uses**

Community Center  
2 Churches  
3 Mixed Use Buildings





## ***Design Guidelines***

Dwelling units shall be designed in conformance with these architectural guidelines and are based upon the existing traditional character of Beacon Hill and surrounding neighborhoods. Building designs may vary in terms of square footage, architectural elevations, fenestration, type of roof, height, front entrance and porch locations. Colors, materials, and architectural details should be limited in number, compatible, and repeated throughout the neighborhood. In general terms, the following guidelines apply:

**Color.** Application of color should reflect the existing and desired context of the neighborhood. An appropriate color palette for buildings should include rich and warm earth tones or other historic colors reflective of existing structures in the urban area. Accent color may be provided through appropriate paint, accent features, lighting and materials that serve to complement the architectural elements and lines within the neighborhood. Monochromatic color schemes are acceptable. Brick and glazing should not be painted.

**Materials/Building.** Brick, stone, wood siding and stucco/plaster. Brick that is artificially colored, old or frosted or distressed is not acceptable. Wood grooved or batten-board siding is also prohibited. Sheet metal or ornamental metal panels are not appropriate for a facade unless historically related.

**Materials/Roof.** Wood shakes, composite shingles, slate and clay tile are acceptable. Materials for pitched roofs should avoid having a reflective finish and should incorporate a color that compliments the overall character of the building. Roof pitches should reflect the character of the neighborhood.

**Building Height.** The single family units should be two stories in height. The townhouse units should be two or three stories in height. For townhouse units this includes a garage level on the lowest level and two full living levels above the garage.

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**Building Entry.** Main entries should face the street. Primary ground floor residential entries to buildings must orient to the street, not to interior blocks, alleys or parking. Secondary and upper floor entries from the interior of a block are acceptable. The front door to single-family homes and townhouses must be visible from the street.

**Porches.** Single family residential units shall have a front entrance articulated with a covered front or side entry porch. Wrap-around or side porches may be acceptable where a front porch is impractical. Front porches shall generally be located on the front of the dwelling facing the sidewalk, but may occasionally be located on the side wall of a dwelling. The size of front entry porches shall be a minimum of 5 feet deep from the front wall of the dwelling to the enclosing porch rail, and a minimum of 10 feet long. Front porches may encroach into the front yard set-back.

**Blank Walls.** Bays and balconies are encouraged. In no case shall the facade of a building consist of an unarticulated blank wall or an unbroken series of garage doors.

**Roofs.** Pitched roofs are required for residential buildings and should be appropriate to the building's architecture. Architectural embellishments that add visual interest to roofs, such as dormers, belvederes, masonry chimneys, cupolas, and other similar elements are encouraged.

**Openings.** Window and door openings are to be proportional to the building and wall size and proportion.

**Windows.** Fenestration shall be architecturally compatible with the style, materials, colors, and details of the building. Windows shall be vertically proportioned wherever possible. To the extent possible, upper story windows shall be vertically aligned with the location of windows and doors on the ground level. Large picture windows should be avoided.

Colored or mirrored glazing is not acceptable.

Insulated glazing and double pane insulated glazing are acceptable. Double hung windows and simulated true divided light is acceptable on all facades. Snap in grills are not acceptable unless in a configuration that relates to the existing neighborhood. Casement windows may not be used in the primary elevations.

**Townhouses.** Townhouse buildings shall avoid long, monotonous, uninterrupted walls or roof planes. Building wall offsets, including projections, recesses and changes in floor level shall be used to relieve the visual effect of single, long wall. Similarly, roof-line offsets shall be provided in order to provide architectural interest and variety to the massing of a building and to relieve the effect of single, long roof. The exterior of townhouses or apartments may be designed to appear as a single building, such as a large single-family detached dwelling.

**Architectural Treatment.** The architectural treatment of the front facade shall be continued, in its major features, around all visibly exposed sides of a building. All sides of building shall be architecturally designed to be consistent with regard to style, materials, colors, and details. Blank wall or service area treatment of side and/or rear elevations visible to the public is prohibited.

**Paving.** All sidewalks and garage aprons shall be concrete.

**Design Approval.** Individual rehabilitation and/or renovation plans and all new housing construction will require design approval by the developer prior to construction.



## Existing Single Family Lot

### Design Intent

Existing single family units add character and history to the new development plan. However, many of these homes, although structurally sound, need to be updated and renewed. Each unit that will remain will need to be updated. Some improvements to existing homes may be as simple as a new coat of paint, others may require more extensive upgrades.

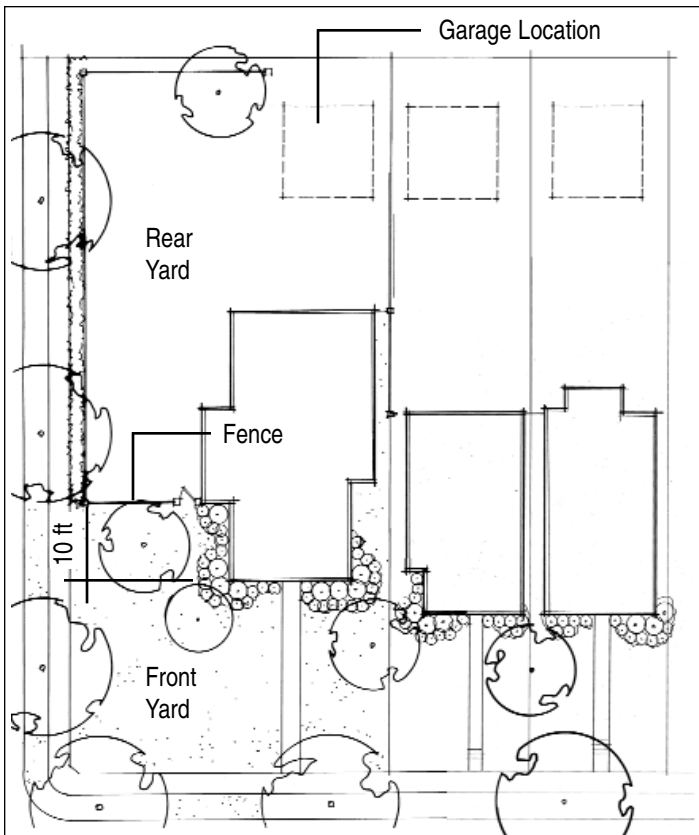
Landscape elements should reflect the design of the overall community. Existing trees should be preserved where possible.

### Garage or Off-Street Parking

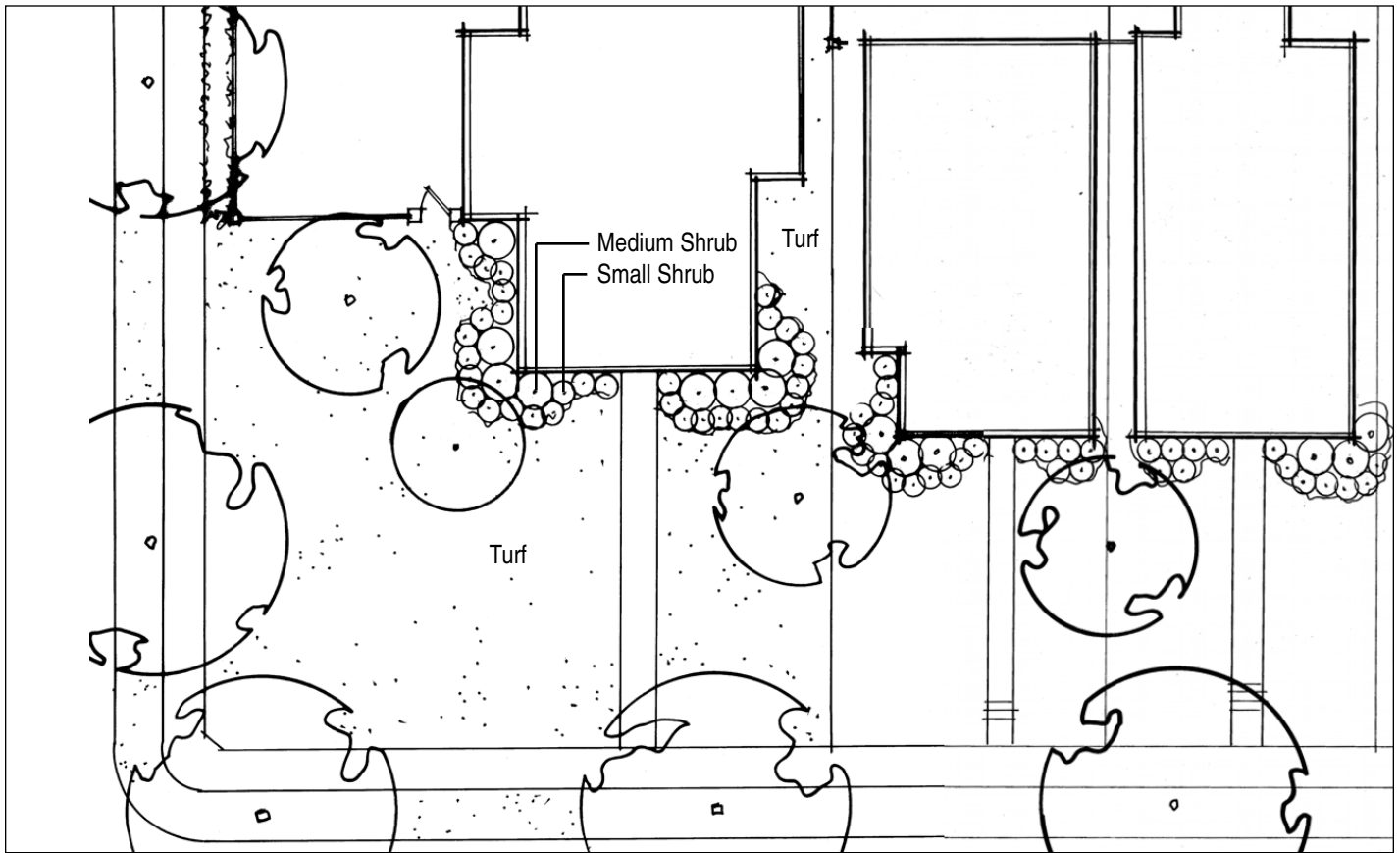
- 1 All new garages must face rear alleys or be set-back from the front building line of the house

### Landscape Guidelines

- 1 Front Yards shall contain shade trees, ornamental trees, and foundation plantings to frame the house and focus attention on the front porch and door.
- 1 Side Yards shall be lawn only to allow passage and sight lines between buildings.
- 1 Rear Yard plantings shall be determined by the homeowner with approval by community.
- 1 Fencing shall be (3) three feet in height and constructed of durable, high-quality materials such as wood or wrought iron. No fences will be allowed in a front yard or within ten (10) feet of the front building facade.



Existing Lot Landscape Improvements Plan

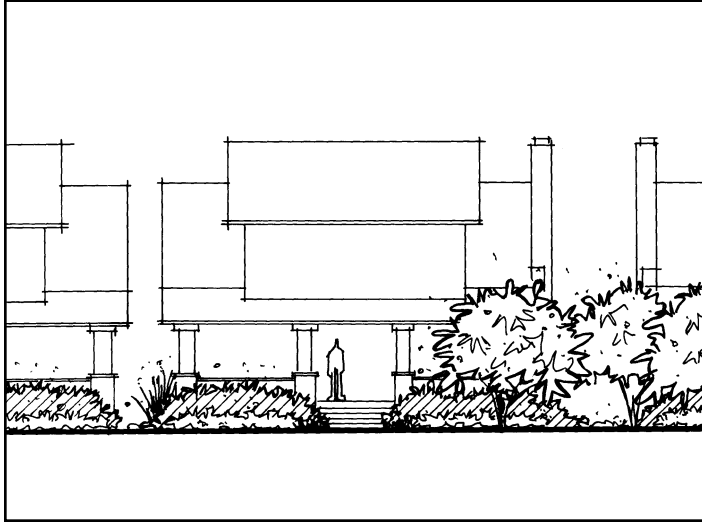


Existing Lot Landscape Improvements Plan Enlargement



Existing Lot Landscape Improvements Elevation





Front Building Facades Elevation

## Single Family New Lot

### Setbacks

- 1 The front yard setback shall be 25 feet to the primary facade.
- 1 Porches may project up to 8 feet into the front setback.
- 1 Architectural bays may project 3 feet into the front setback or up to 20% of the lot width.
- 1 Side setbacks shall be 4 feet except in the case of garages, which may have no setback to the side property line.
- 1 Rear yards shall be defined so as to create a contiguous area equal to 15% of the lot.

### Garage Setback

- 1 Garage setbacks shall be 10 feet from the rear property line, where the lot is served by a lane.

### Corner Lot Condition

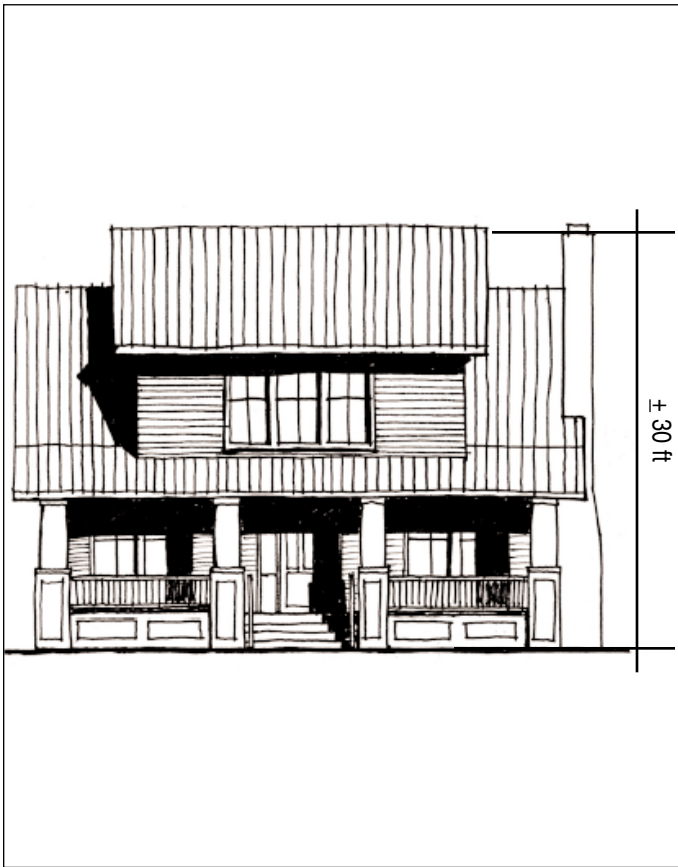
- 1 On corner lots, the setbacks on both streets shall follow front yard setbacks except that up to 45% of the length of the setback on the long side setback may be occupiable space up to 8 feet into the setback.

### Design Guidelines

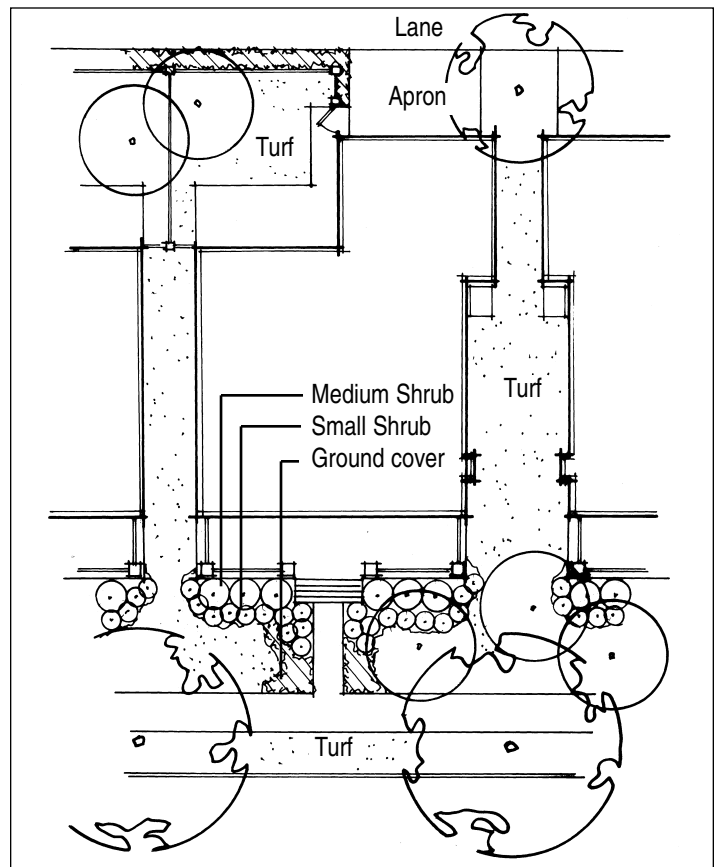
- 1 Single family lots shall have a porch on the front facade
- 1 Garages must face rear lanes or be set-back from the front building line of the house

### Landscape Guidelines

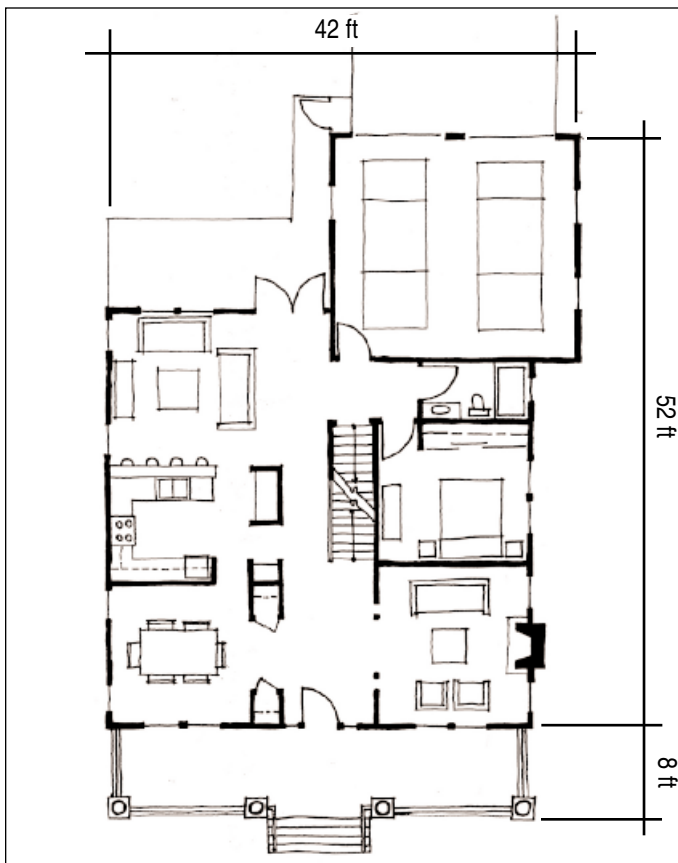
- 1 Front Yards shall contain shade trees, ornamental trees, and foundation plantings to frame the house and focus attention on the front porch and door.
- 1 Side Yards shall be lawn only to allow passage and sight lines between buildings.
- 1 Rear Yard plantings shall be determined by the homeowner with approval by community.
- 1 Fencing shall be (3) three feet in height and constructed of durable, high-quality materials.



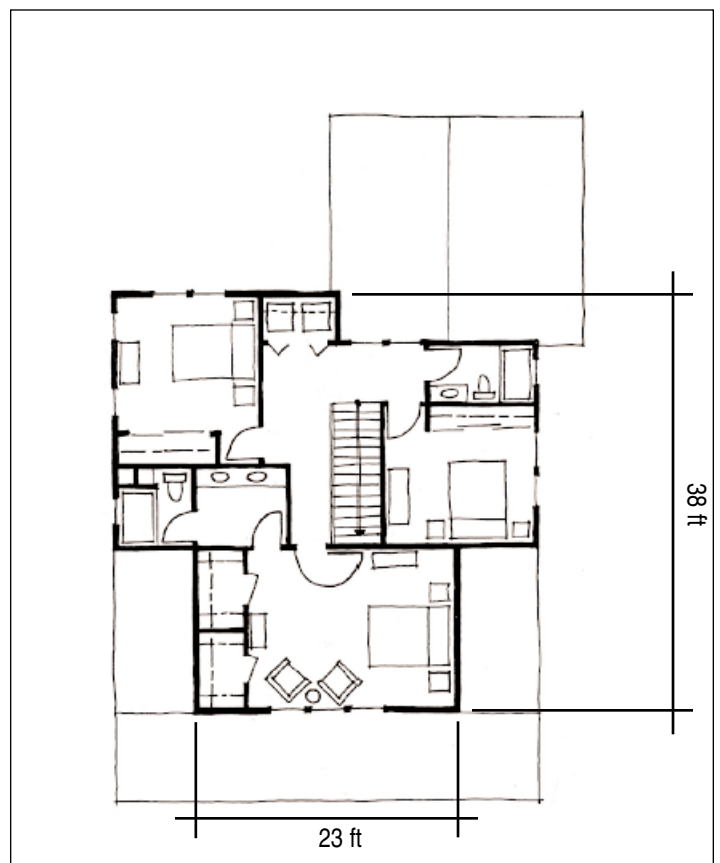
Front Elevation



Landscape Plan



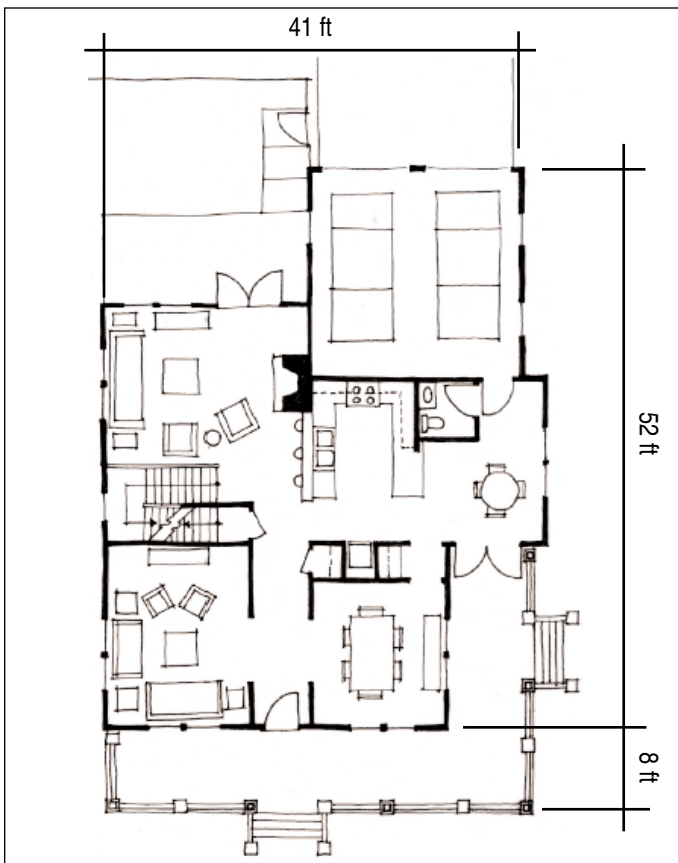
First Floor Plan



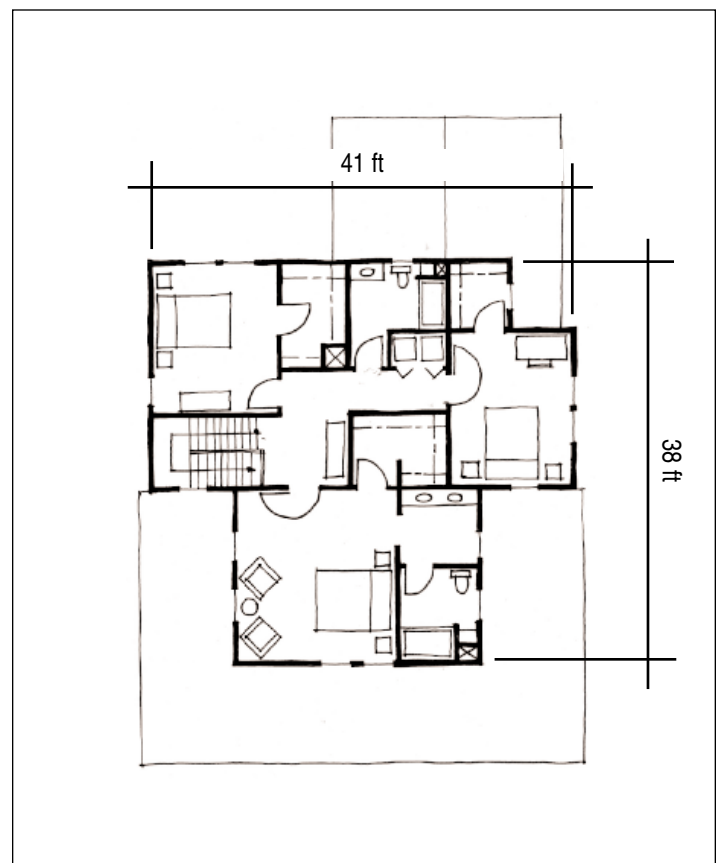
Second Floor Plan



Front Elevation



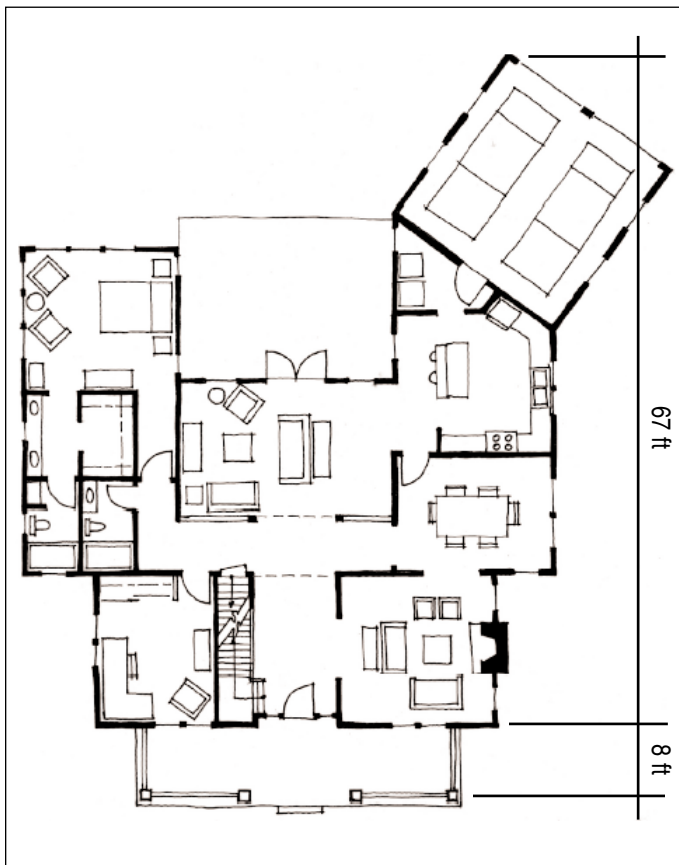
First Floor Plan



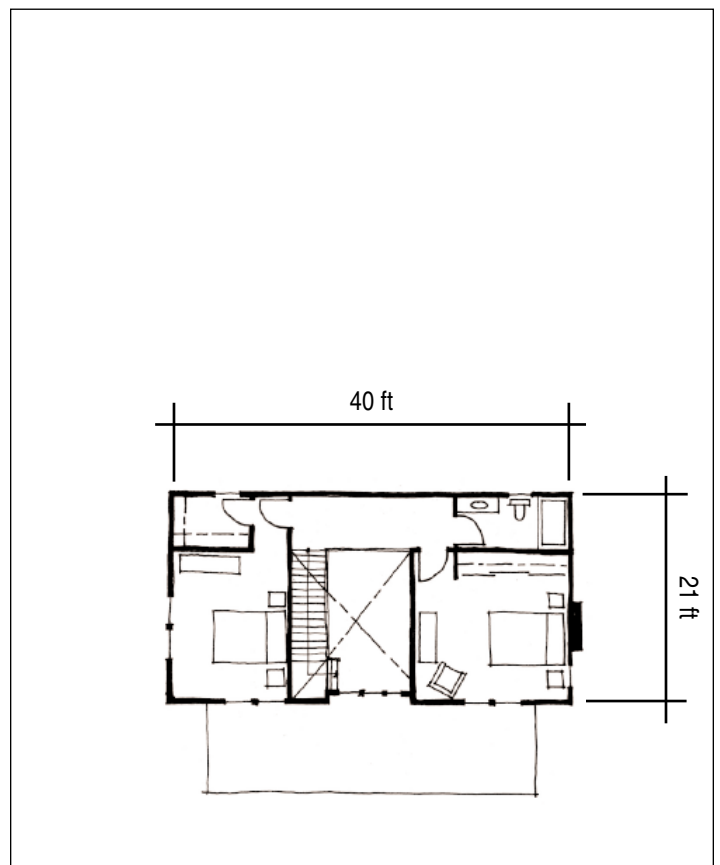
Second Floor Plan



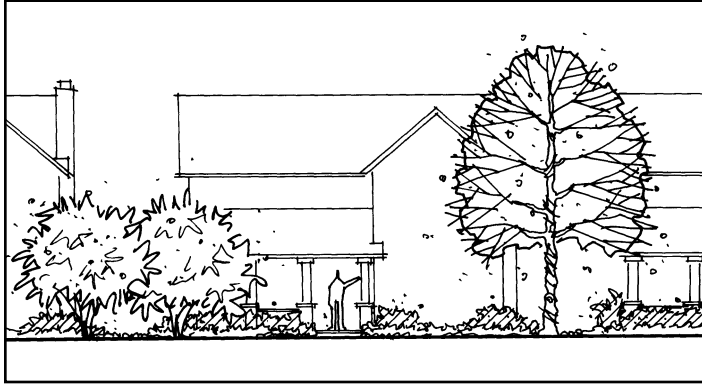
Front Elevation



First Floor Plan



Second Floor Plan



Front Building Facades Elevation

## ***Infill Single Family***

### **Setbacks**

- 1 The front yard setback shall align with the setback of the nearest existing single family unit.
- 1 Where properties on adjacent sides of a lot have different front yard setbacks, the permitted front yard setback shall be the average of the adjacent setbacks.
- 1 Side yard setbacks shall be a minimum of 4 feet.
- 1 Rear yards shall exceed 20% of the lot area.

### **Garage Setback**

- 1 Garage setbacks shall be 10 feet from the rear property line, where the lot is served by a lane.

### **Design Guidelines**

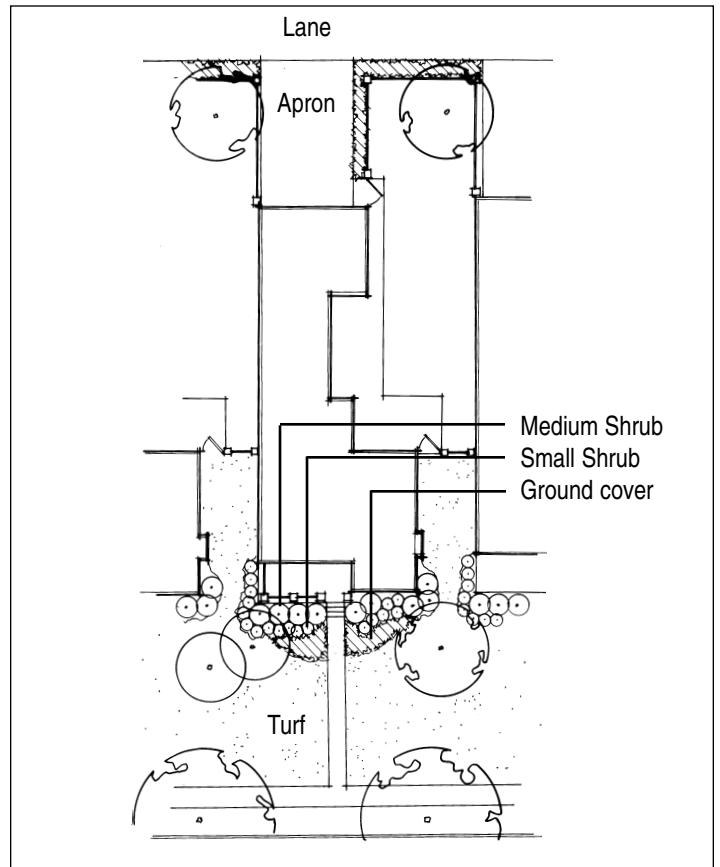
- 1 Single family lots shall have a porch on the front facade
- 1 Garages must face rear lanes or be setback from the front building line of the dwelling unit

### **Landscape Guidelines**

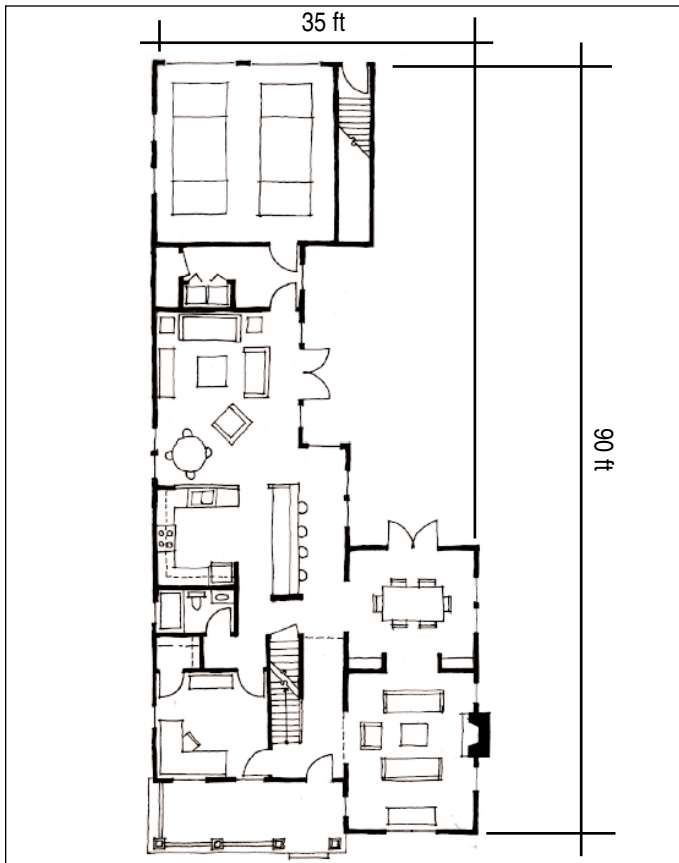
- 1 Front Yards shall contain shade trees, ornamental trees, and foundation plantings to frame the house and focus attention on the front porch and door.
- 1 Side Yards shall be lawn only to allow passage and sight lines between buildings.
- 1 Rear Yard plantings shall be determined by the homeowner with approval by community.
- 1 Fencing shall be (3) three feet in height and constructed of durable, high-quality materials.



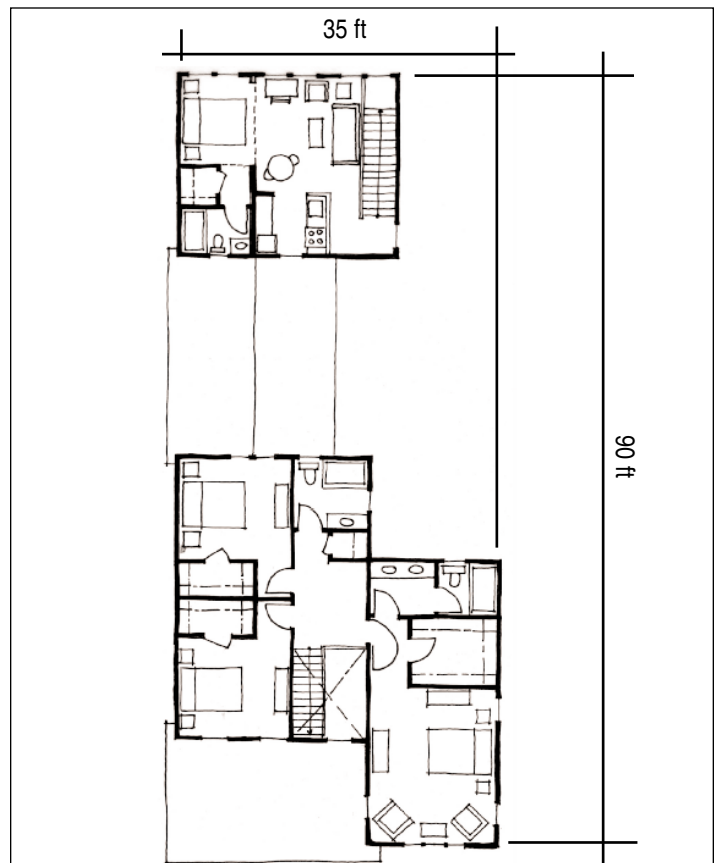
Front Elevation



Landscape Plan



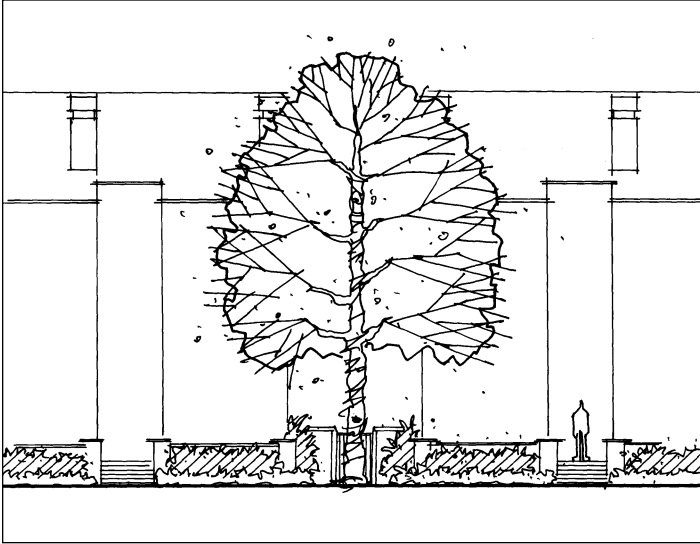
First Floor Plan



Second Floor Plan



## Townhouse



Front Building Facades Elevation

### Setbacks

- 1 Front yard setbacks shall be 18 feet minimum, except lateral townhouses, which shall have front setbacks of 0 feet to 10 feet.
- 1 Rear yard setbacks shall be 6 feet minimum except lateral townhomes.
- 1 Porches may project up to 8 feet into the front setback. Architectural projections may project 3 feet for 30% of the lot width into the front setback.
- 1 Side yard setbacks on townhouse end units shall be 5 feet minimum.

### Design Guidelines:

- 1 Garages must face rear lanes. Lateral townhouses with front garages shall set the front plane of the garage equal to the setback of the front building line of the dwelling unit.

### Landscape Guidelines

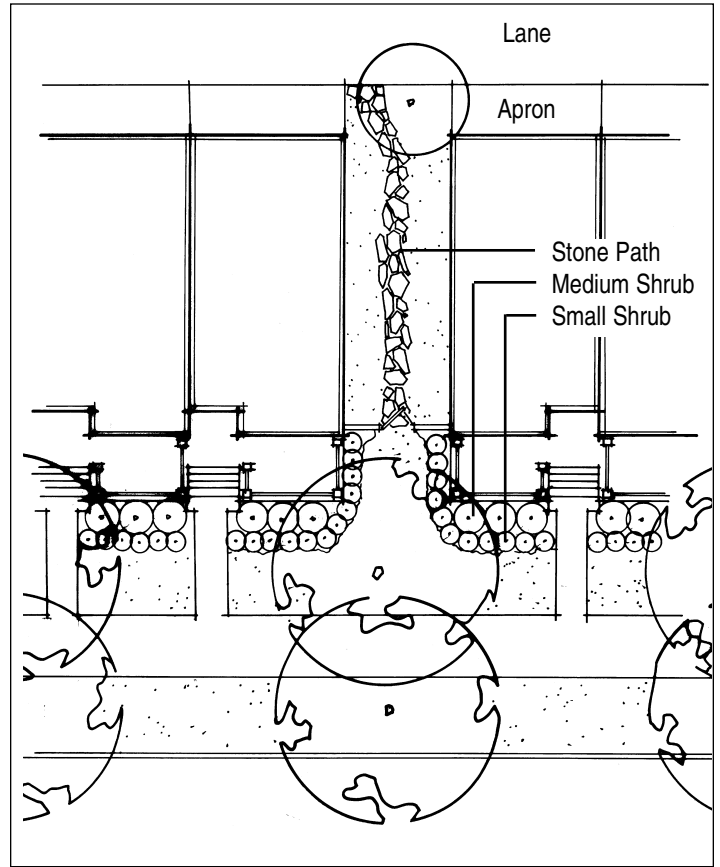
- 1 Front Yards shall be formal foundation plantings anchoring the structure to the site.
- 1 Side Yards shall be lawn with stepping stones allowing access between structures.



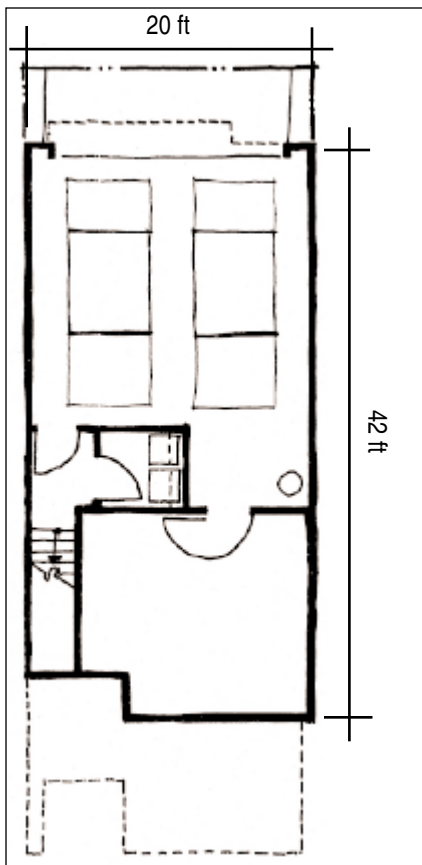
Townhouse Elevation



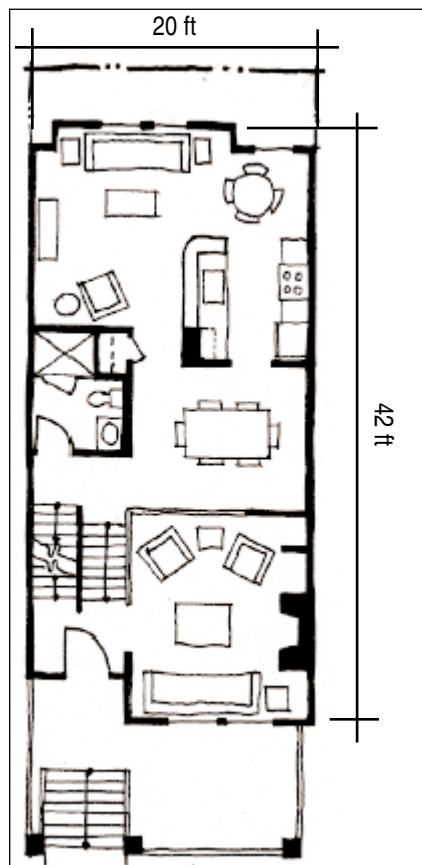
Front Elevation



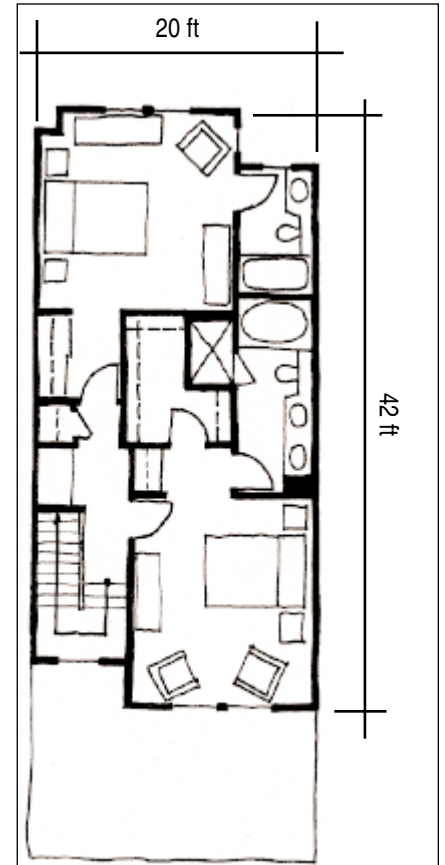
Landscape Plan



Garage Plan



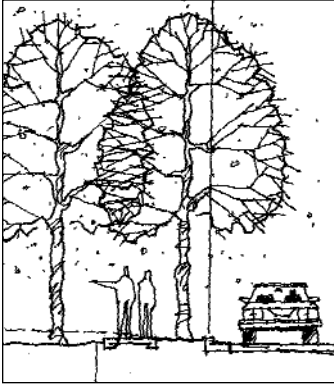
First Floor Plan



Second Floor Plan







## Introduction and Design Intent

The following chapter illustrates each of the street types and streetscape features.

Existing streets and rights-of-way will be maintained wherever possible. Streets will be repaired and repaved. New curbs and sidewalks will be installed. Specimen and healthy street trees will be maintained and new street trees will be planted between the curb and sidewalk as part of the overall streetscape improvements.

New streets will be introduced to reduce the existing size of the blocks. These streets will be designed with the same streetscape elements as the existing streets. Mid-block alleys will be reused, repaved and platted where they do not exist to provide vehicular access to all of the new units. These streets are referred to as lanes in this plan because they are designed with a specific streetscape intent. In addition, the lanes are also designed to provide safe pedestrian access.

The following street plans and streetscapes illustrate the design concepts for illustrative purpose:

- 1 Lanes
- 1 Terraces
- 1 West Paseo
- 1 Existing Streets
- 1 Troost and 27th Street

## Residential Streets

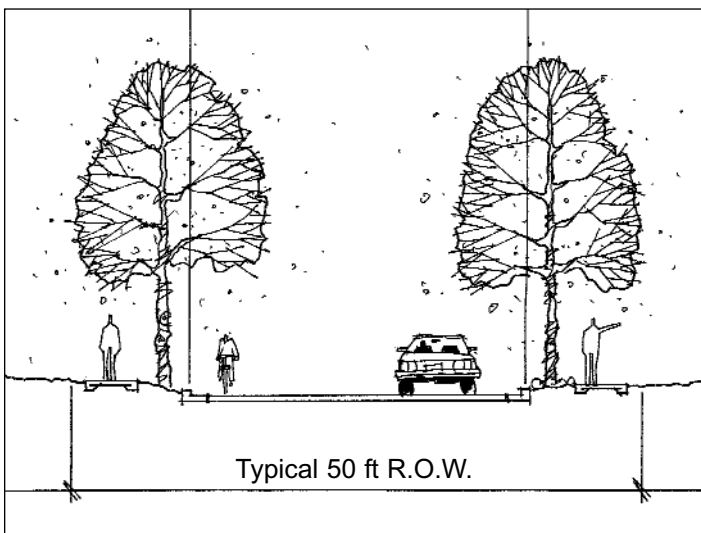
New streets are introduced throughout the plan area for improved access, increased neighborhood visibility and to establish tightly knit residential enclaves on smaller blocks.

The following new streets are introduced:

- 1 24th Terrace, between 24th and 25th Streets, Troost Avenue to Tracy
- 1 Beacon Hill Lane, between 24th Terrace and 25th Streets, Troost Avenue to Tracy
- 1 25th Terrace, between 25th and 26th Streets, Troost Avenue to Tracy
- 1 26th Terrace between 26th and 27th Streets, Troost Avenue to Tracy
- 1 Forest is split into one-way pairs around lawns
- 1 Tracy Ave.. Circle, between 22nd Street and Bruce R. Watkins Drive
- 1 Paseo View Drive, parallel to Paseo, north of Robinson Hospital
- 1 Lanes are used to provide vehicular access to residential units throughout the neighborhood. Many of the new lanes are located on existing platted rights-of-way.

### Overall streetscape intent:

The streetscape shall consist of an asphalt driving surface, straight concrete curb and gutter, a minimum (7) seven feet planting strip, and (6) six feet sidewalks on either side of street. Trees shall be located (50) fifty feet on center between road and sidewalk. Parallel on-street parking will generally be allowed everywhere with no curb cuts, except on existing lots.





## ***Lanes***

Lanes are used throughout the neighborhood to serve the residential units with direct vehicular access.

Lanes allow the homeowner to enter their individual garages. Many of the lanes are located along and within existing platted rights-of-way.

### **Streetscape Guidelines:**

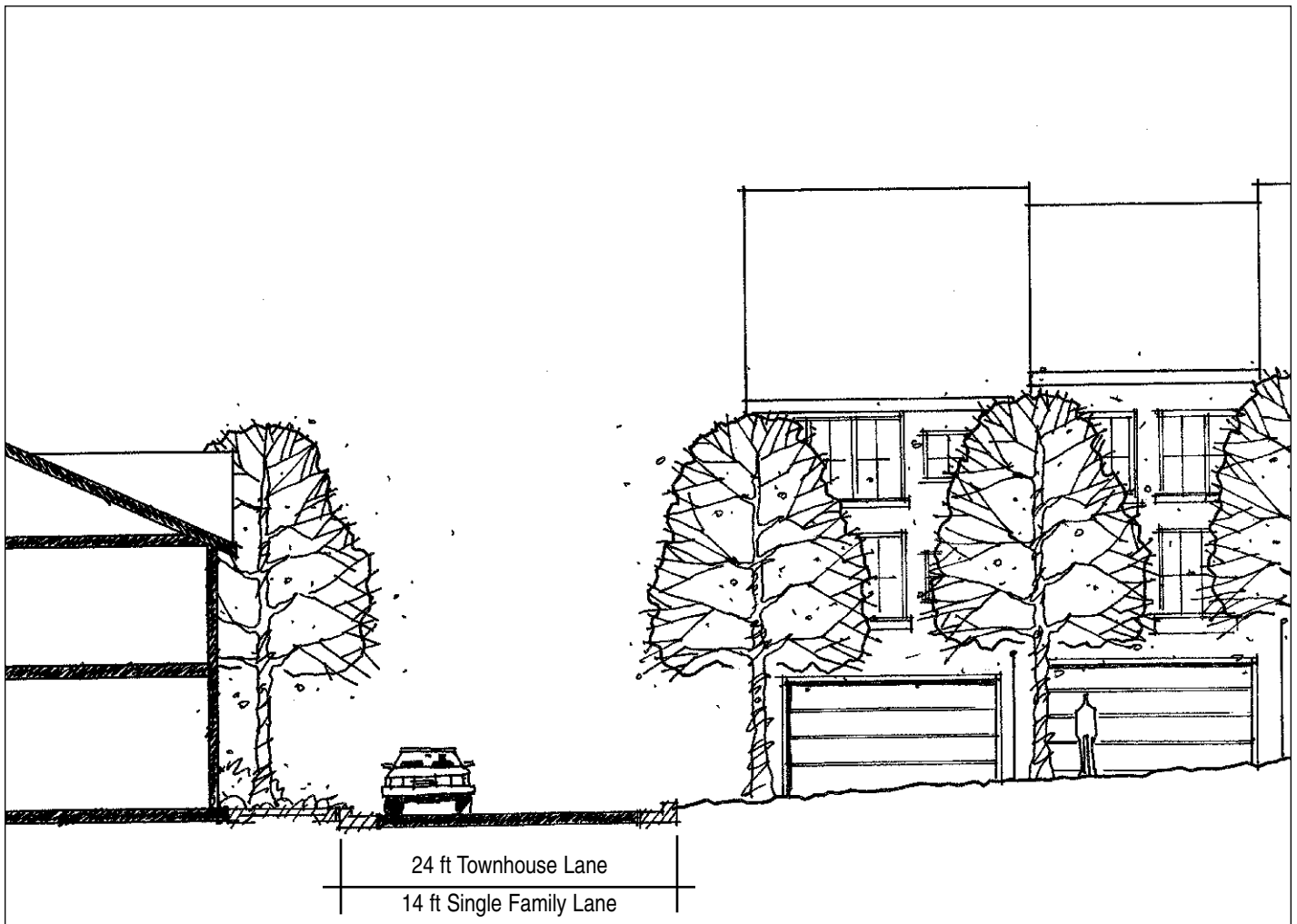
- 1 Establish planting areas between the paved areas and the rear yard fences.
- 1 The planting area between the pavement and the fence shall be three (3) feet wide.
- 1 Shade trees and the planting area shall be utilized to soften the lane edges while allowing service and residential vehicular circulation.

## ***Terraces***

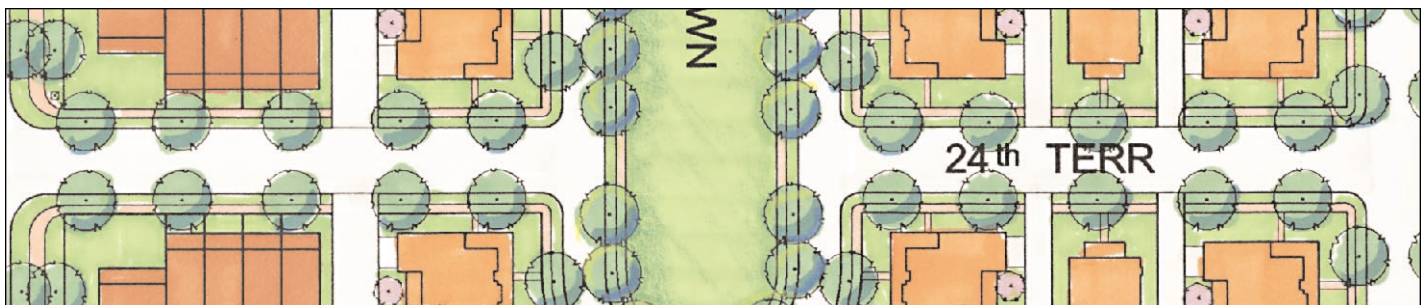
Terraces are introduced between 24th and 25th Streets, between 25th and 26th Streets and between 26th and 27th Streets. Each terrace extends from Troost Avenue and Tracy. The lawns interrupt the roadway at Forest to limit through movements.

### **Streetscape Guidelines:**

- 1 Establish a row of trees along the street. Street trees shall be between the sidewalk and the curb and be at least 40 feet on center.
- 1 The planting area between the curb and the sidewalk shall be seven (7) feet wide.
- 1 The sidewalk shall be five (5) feet wide.



Section illustrating a lane serving a single family detached unit and a group of townhouses.



Plan view of a terrace street that is interrupted by one of the lawns.



## West Paseo

### Streetscape Guidelines:

- 1 Establish a row of trees along the street. One tree shall be between the sidewalk and the curb.
- 1 The planting area between the curb and the sidewalk shall be eight (8) feet wide.
- 1 The sidewalk shall be six (6) feet wide.
- 1 The median planting width shall be eight (8) feet wide.
- 1 Plantings in median shall consist of specimen trees and shrub plantings a maximum of (3) three feet in height.

## Existing Streets

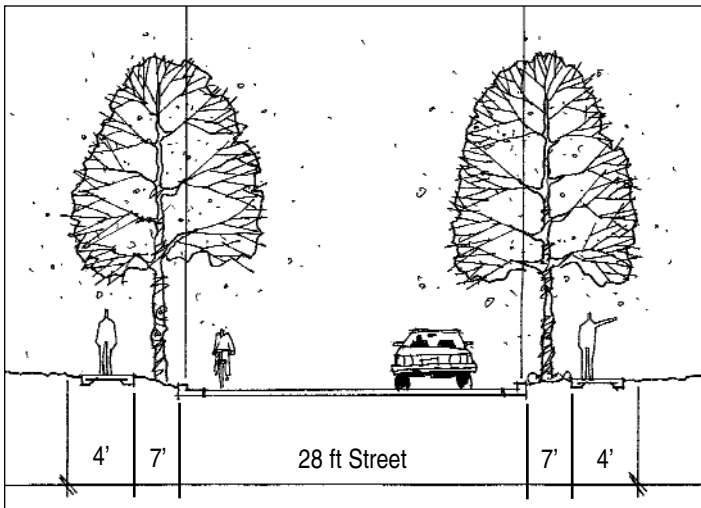
The existing streets will remain. This includes Forest, 24th, 25th and 26th Streets and Tracy. Some will be enhanced with median plantings, all streets will be enhanced with street trees, sidewalks and lighting.

### Forest Avenue

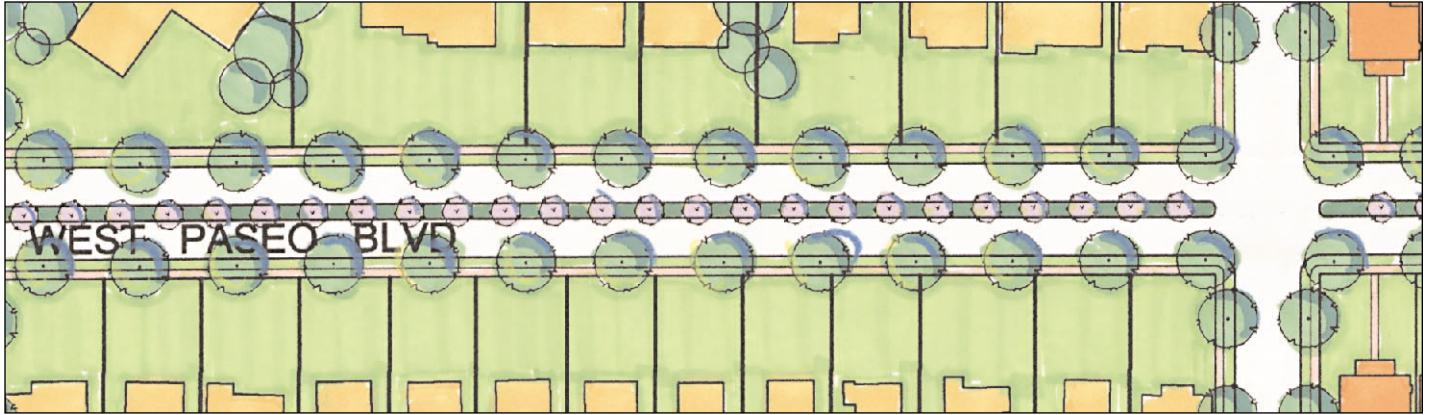
Forest is split into one-way pairs around lawns.

### Streetscape Guidelines:

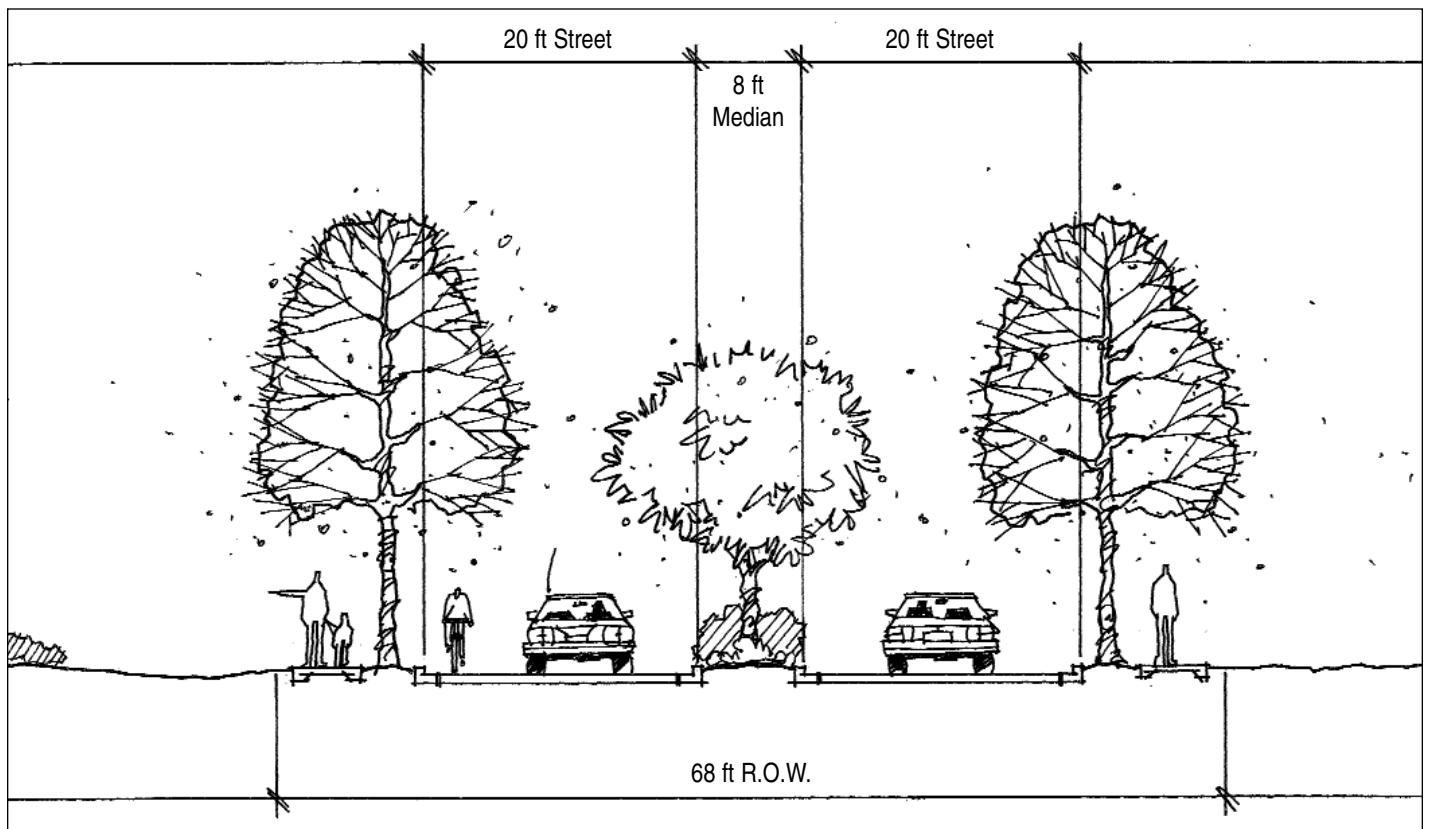
- 1 Establish a row of trees along the street. One tree shall be between the sidewalk and the curb.
- 1 The planting area between the curb and the sidewalk shall be eight (8) feet wide.
- 1 The sidewalk shall be six (6) feet wide.



Typical section for existing streets



Plan view of the proposed median strip along West Paseo Boulevard .



Section view of the proposed median strip through West Paseo Boulevard .

## ***Troost Avenue and 27th Street***

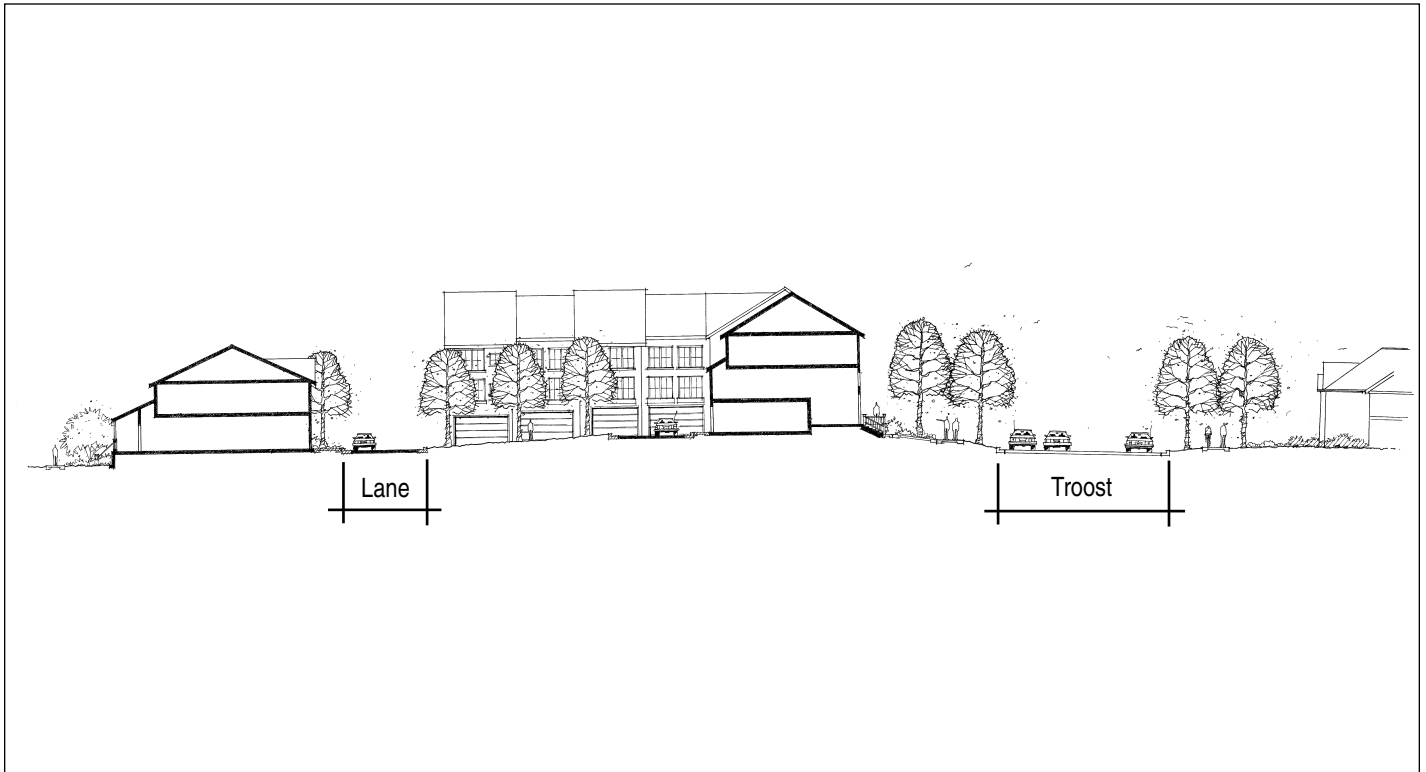
### **Design Intent:**

Troost is reestablished as a residential street with units fronting the Avenue. Non-commercial uses are located north of 24th Street and at the intersection of 27th Street. A common green is located at 25th Street to allow for community gathering and a significant entry point into the neighborhood. Although, Troost is likely to become a more active vehicular street with the opening of Bruce R. Watkins Drive, the intent is to maintain a strong neighborhood edge with private space along the right-of-way.

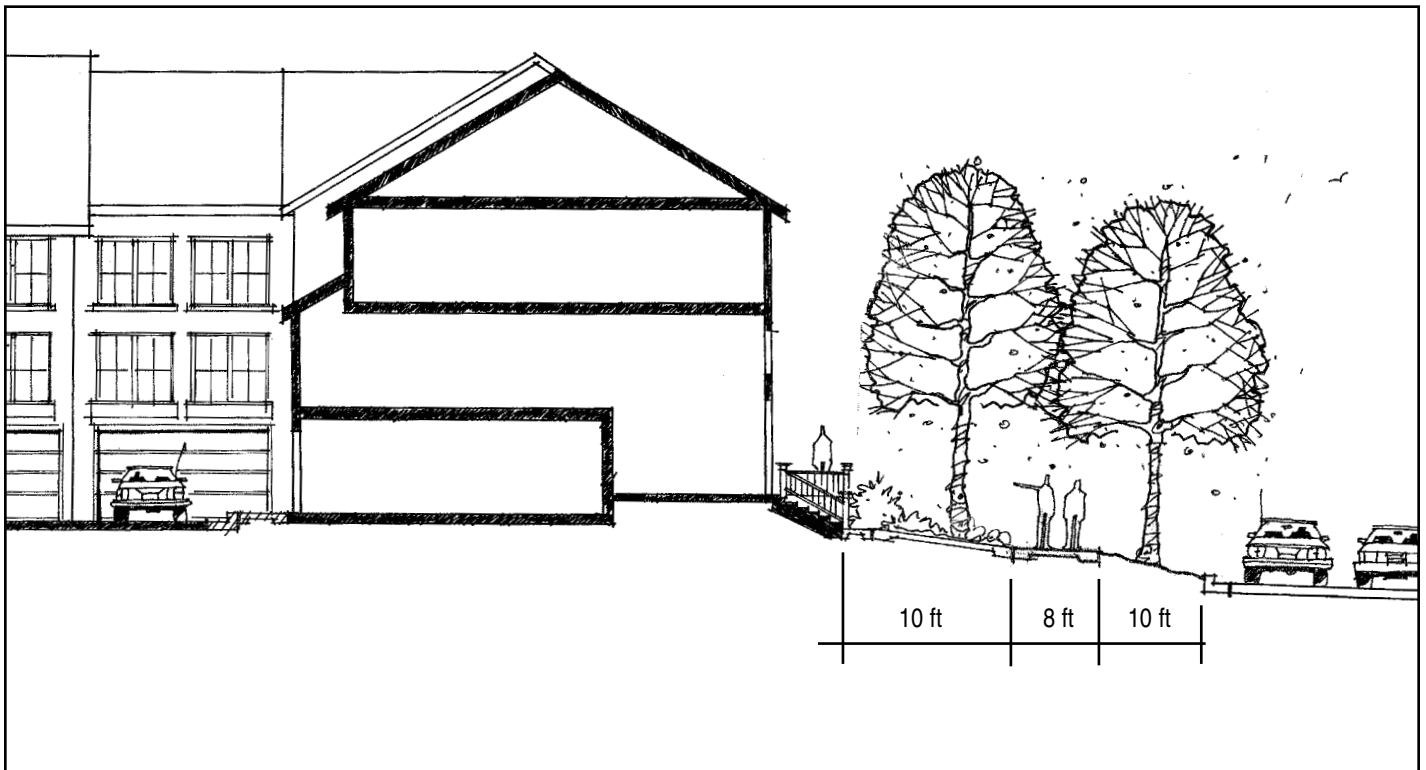
27th Street is a four-lane arterial road that connects the Beacon Hill neighborhood to the west to Crown Center and Hospital Hill and the east to the 18th and Vine District and East side neighborhoods. This street will have a similar character to that of Troost except within a narrower right-of-way.

### **Streetscape Guidelines:**

- 1 Establish a double row of trees along the street at Troost. One tree shall be between the sidewalk and the curb. The other tree shall be between the curb and the building as shown in the facing section.
- 1 Establish a single row of trees along the street at 27th Street. Row of trees shall be between the sidewalk and the curb.
- 1 The planting area between the curb and the sidewalk shall be eight (8) feet wide.
- 1 The sidewalk shall be six (6) feet wide.



Section through townhouse block along Troost Avenue



Setback from Troost Avenue

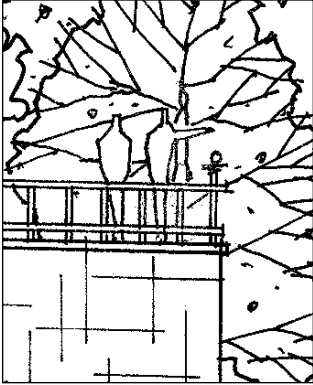
## ***Design Guidelines***

### **Sidewalks**

1 A sidewalk network shall be provided throughout the neighborhood that interconnects all dwelling units with other units, non-residential units, and the Beacon Hill Commons. Sidewalks shall be separate and distinct from motor vehicle circulation to the greatest extent possible, and shall be of barrier-free design and in compliance with the Americans With Disabilities Act.

1 Sidewalks shall be a minimum of 4 feet in width, expanding to 5-6 feet along major pedestrian routes and in commercial areas.

1 Walkways shall be raised and curbed along buildings and within parking lots, where suitable. Pedestrian street crossings shall be clearly delineated by a change in pavement color and/or texture. All sidewalks and other pedestrian walkways shall have appropriate lighting, using poles and fixtures consistent with the character of the neighborhood.



In the previous chapters, the master plan, lot types and streets have all been described. Community amenities to enhance the overall quality of life for residents are needed.

This chapter addresses the design details within the public realm. Public realm is defined as the three dimensional area between the buildings facades within the neighborhood. The design treatment of these areas is essential to improve the perception of the community to existing and future residents, home builders, investors and the City.

The following community amenities are described in this section. These amenities include:

- 1 Open Space
  - North and South Lawns
  - Beacon Hill Commons
  - Courtyards and Trails
- 1 Gateways and Lighting
- 1 Markers
- 1 Special Features
  - Overlook
  - Beacon Monument



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## *community amenities*



Brick planting wall and paving



Column and fence detail

### ***Open Space***

The location of open spaces within the neighborhood are intended to create community amenities for the use of residents and recognize the prevailing pedestrian patterns linking the neighborhood to employment and transit along the Troost Avenue corridor.

Open spaces within the planning area include the following:

- 1 An expanded pedestrian promenade along the Troost Avenue frontage.
- 1 A new centrally located open space (Beacon Hill Commons) of approximately 2 acres, north of 25th Street.
- 1 Two new neighborhood open spaces, North Lawn, and South Lawn, totaling approximately 3 acres, oriented along the axis of Forest Avenue.
- 1 A linear parkway along the Paseo and Bruce R. Watkins Drive.
- 1 A pedestrian greenway extending between the terminations of 26th Street at West Paseo and Flora Avenue.

### ***Design Guidelines***

- 1 While the majority of the Beacon Hill Neighborhood will be regraded to accommodate new streets and new residential units, existing specimen trees should be preserved where possible.
- 1 All open space shall be lined with street trees.



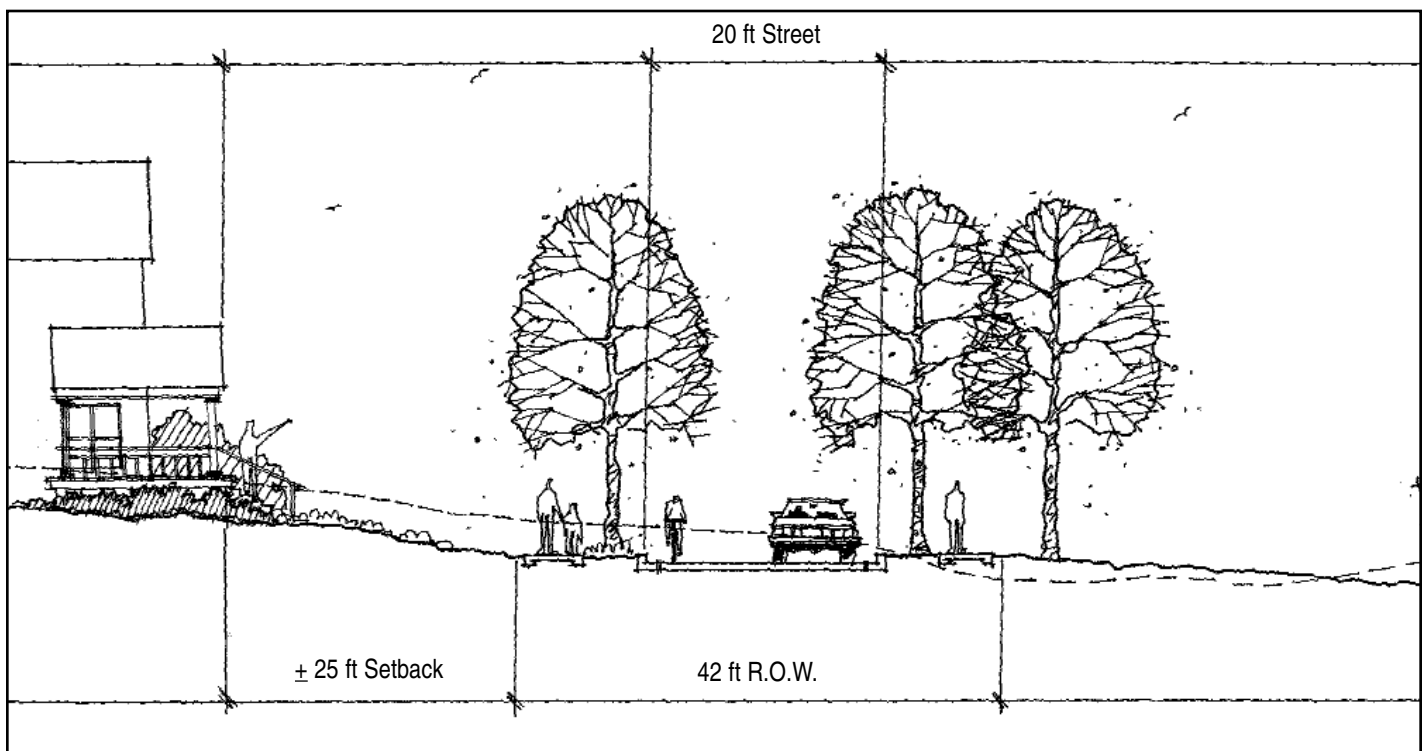
OPEN SPACE PLAN

## Lawns

There are two formal lawns identified in the Beacon Hill Landscape Plan. Each lawn is approximately 80 feet in width and serves as a median to divide the roadway into a one-way pair. On-street parallel parking will be allowed along the lot side of the roadways.

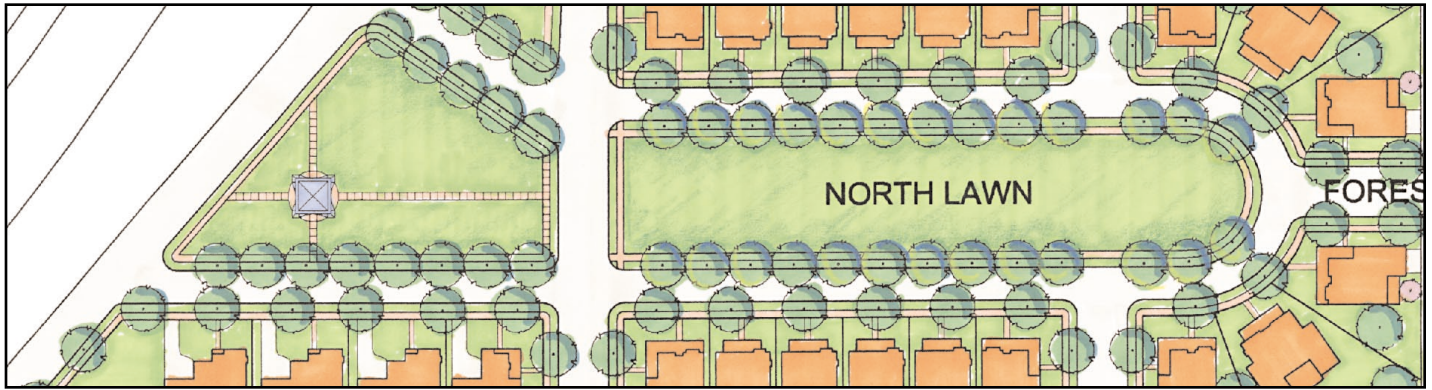
The *North Lawn* is located along Forest Avenue between 24th Street and Beacon Hill Lane. The design of the north lawn includes the Beacon Hill redevelopment community gateway monument. This monument is a special feature incorporated into the north lawn. In addition, the north lawn shall be terraced and be lined with street trees spaced at 30 feet on center.

The *South Lawn* is located along Forest Avenue between 25th and 27th Streets. The south lawn provides a common green space for the community residents.

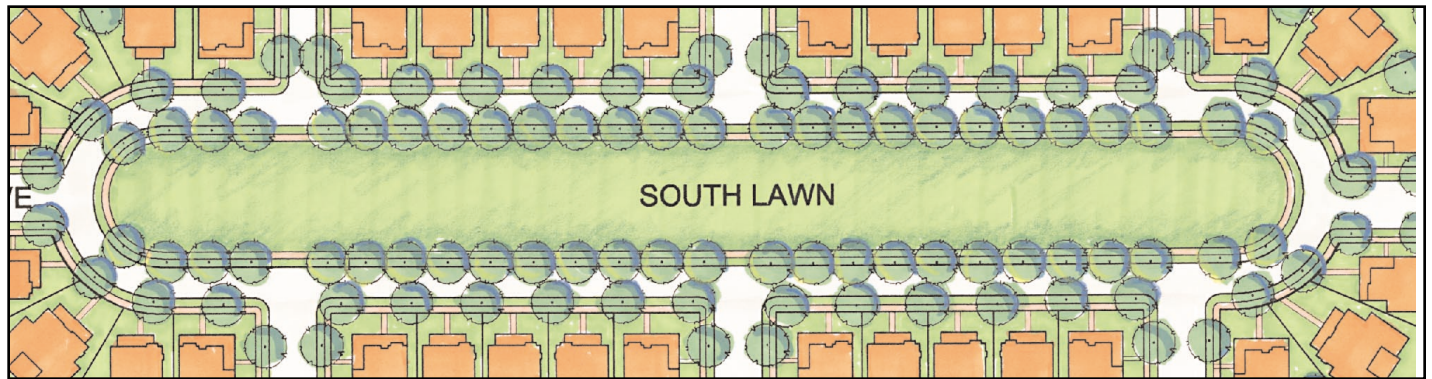


Section through Forest Avenue Lawn

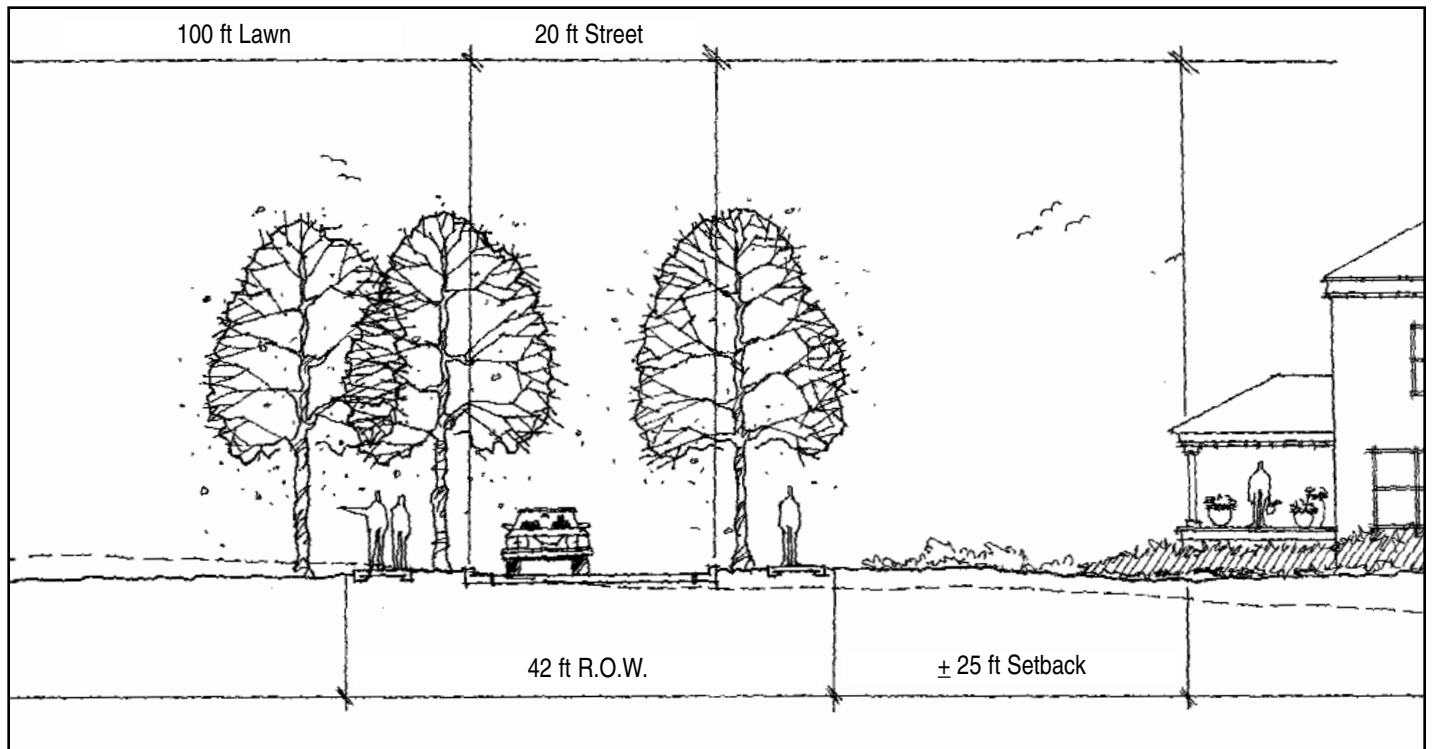




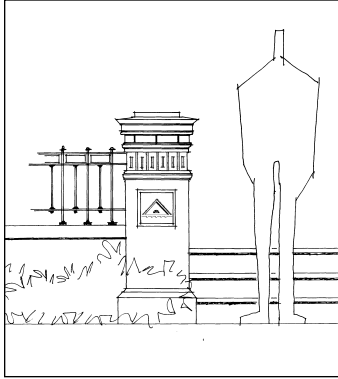
Plan of the North Lawn and the open space area designed to accommodate the beacon tower for community identification.



Plan for the South Lawn which is entirely enclosed by new single family detached units.



## **Beacon Hill Commons**



Commons Entry

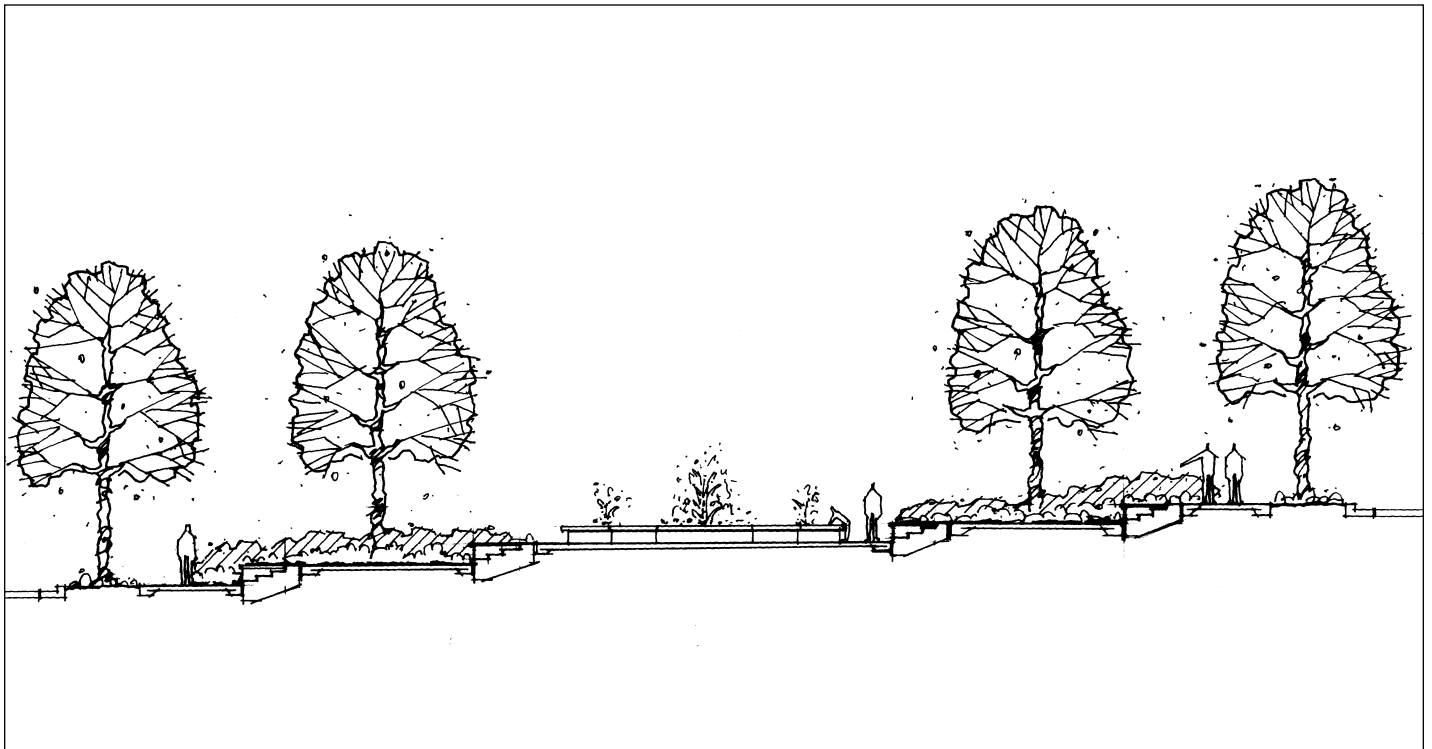
At the entrance to the neighborhood from Troost, there is one open space identified at the Beacon Hill Commons. The area is intended for activities and recreation for the entire neighborhood.

The Commons will serve three purposes:

(1) Gateway to Beacon Hill, (2) meeting place for neighborhood activities, and (3) open space for the use and enjoyment of the community.

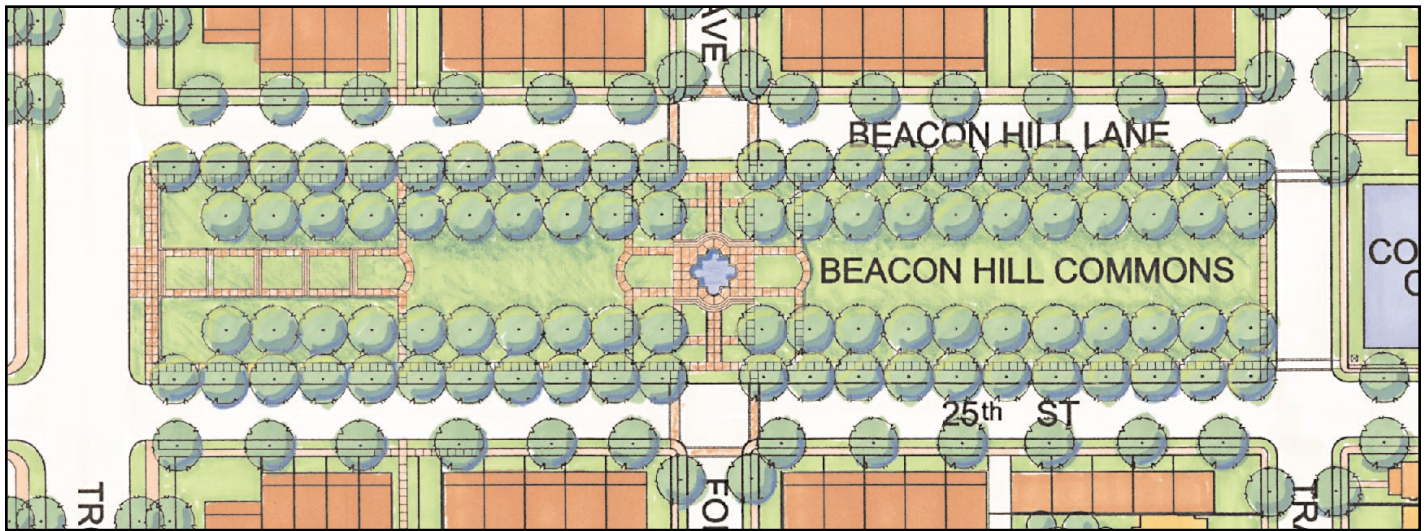
The area facing Troost Avenue will be designed with a bench wall and monuments at each end to define the west end of the space. A formal walkway leads into the center of the open space and leads to an unobstructed open play area.

The center of the space is designed with a fountain and its location is centered on Forest Avenue and the Commons area.



Beacon Hill Commons Central Plaza and Fountain

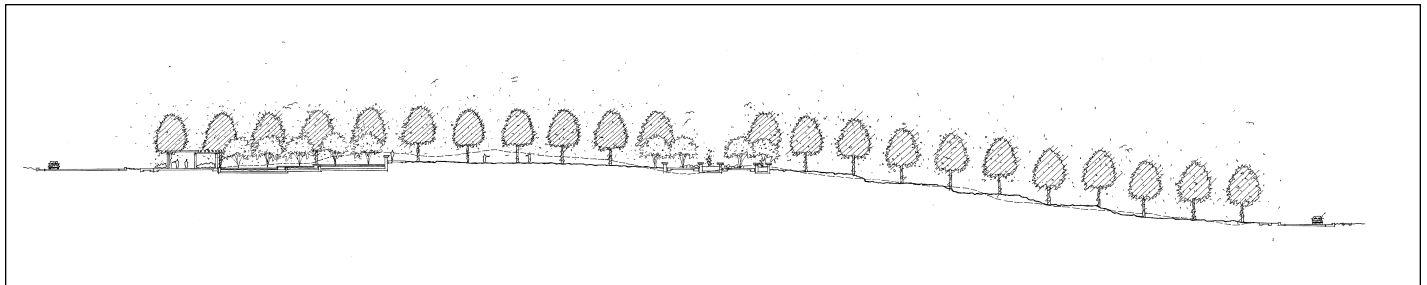




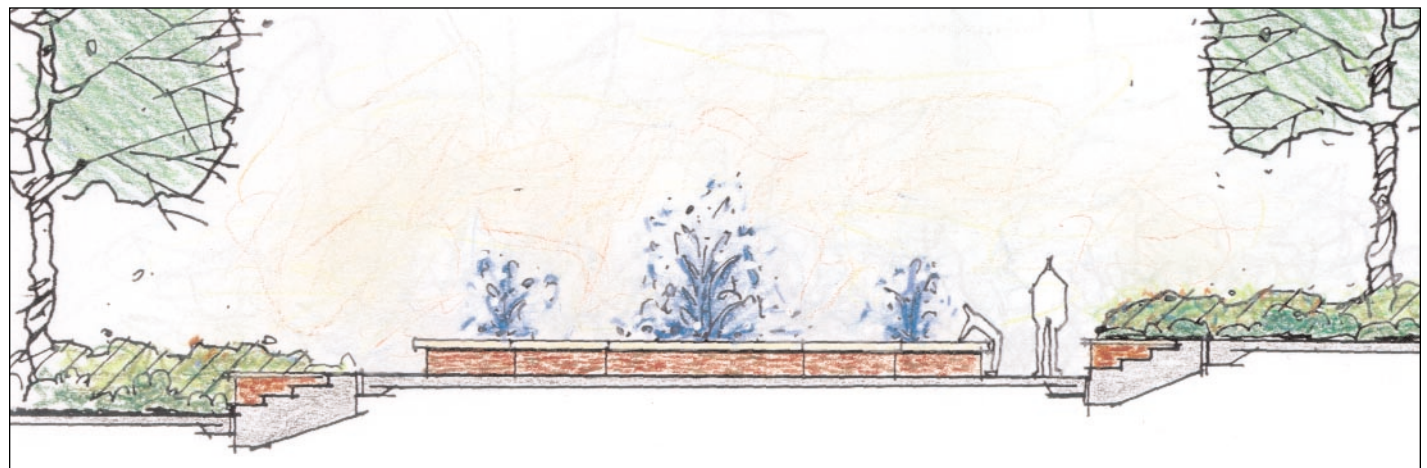
Beacon Hill Commons



Beacon Hill Commons East-West Section



Beacon Hill Commons Section and View of Community Center



Beacon Hill Commons Fountain

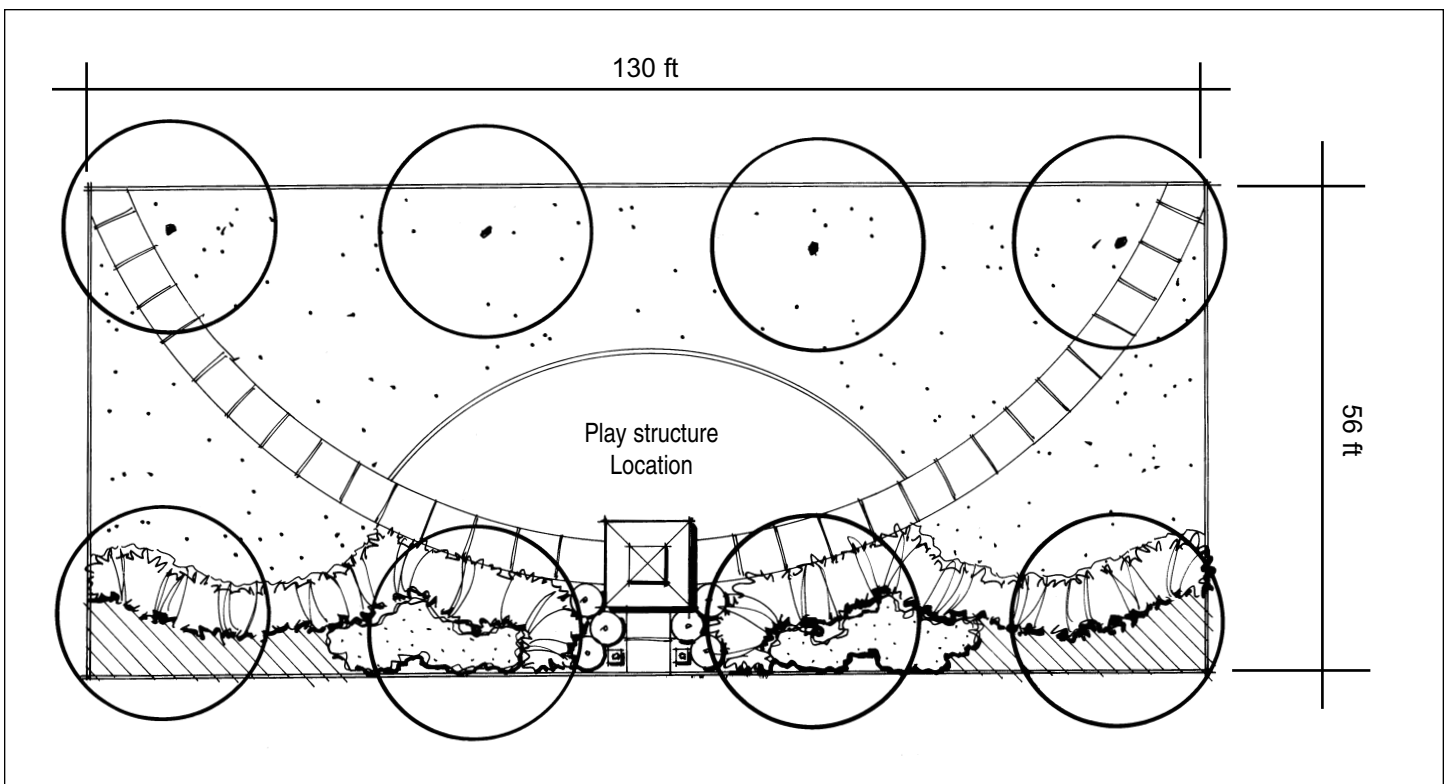


## Courtyards

Courtyards are located throughout the neighborhood to primarily serve the residents of the townhouse enclaves. Each grouping of townhouses has a courtyard area that serves as the rear yard for these units. These spaces will be designed as turf areas to allow the future residents to add swing sets, play structures, grills and other amenities.

## Trails

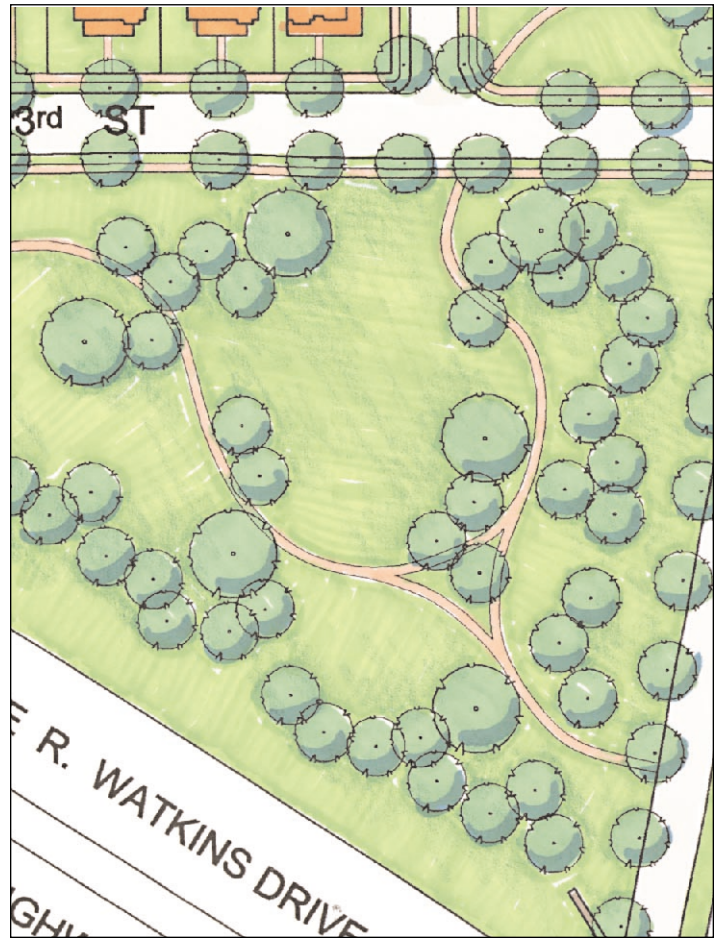
Neighborhood trails are a multifunctional amenity for the resident. They provide outdoor activity for adults and children, walking connections between homes and parks, quiet places to enjoy nature, and access to green space in an urban setting.



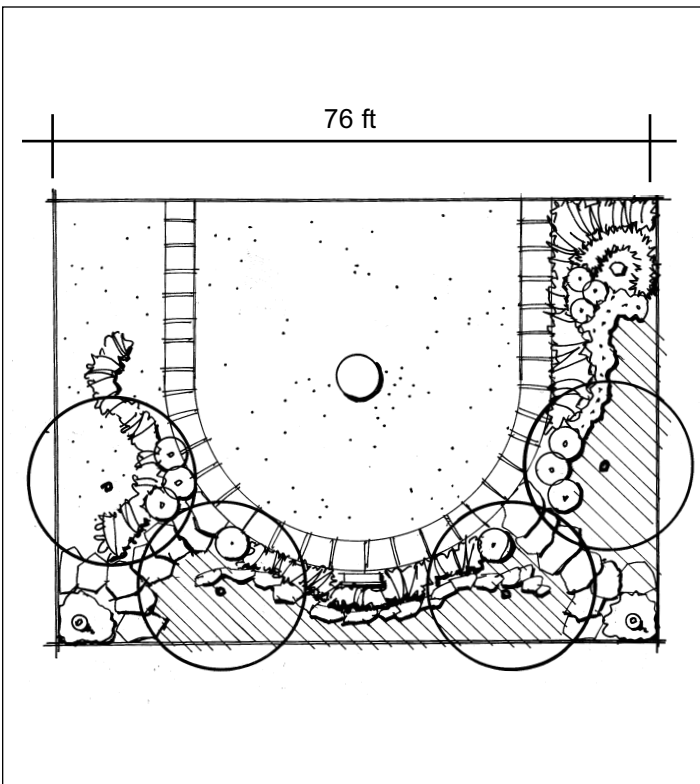
Courtyard with open lawn and play structure



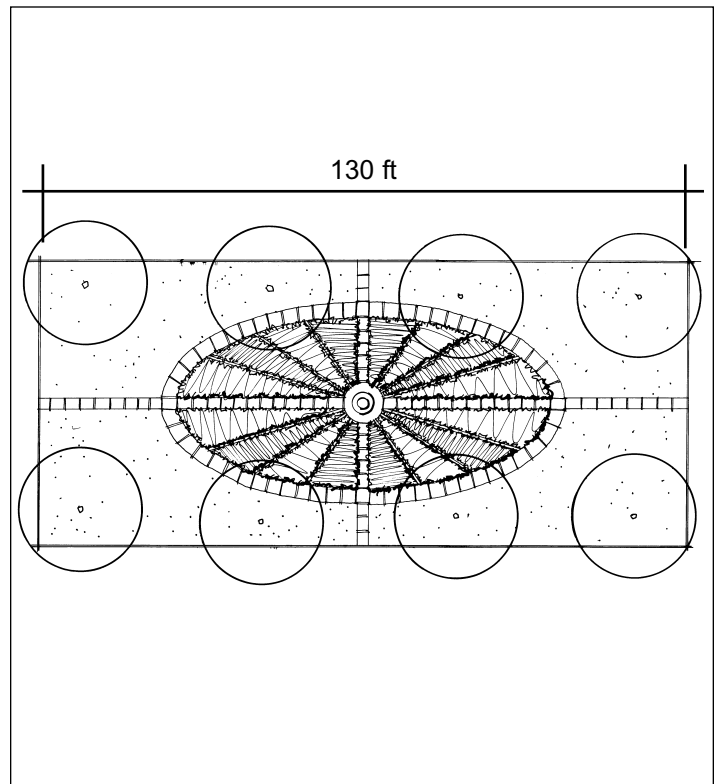
Trail along The Paseo



Trail within the park area between 23rd Street and BRW Drive



Courtyard with open lawn and focal element



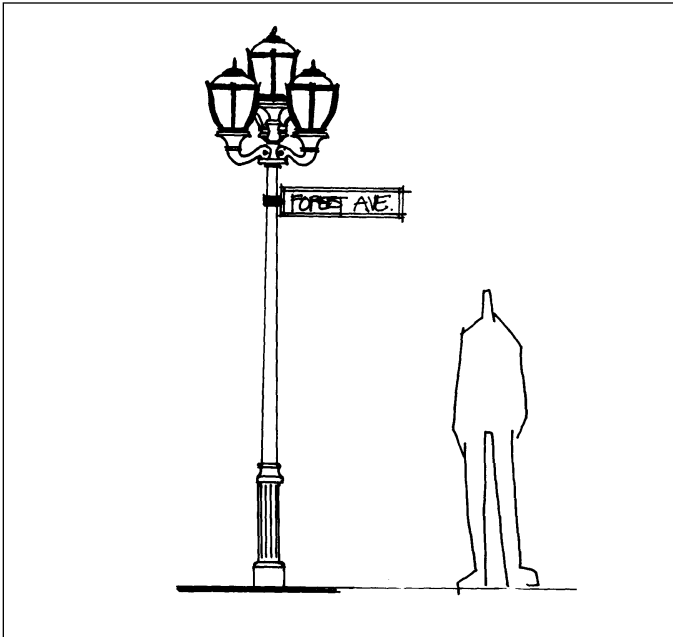
Courtyard with garden

## ***Lighting and Sign Locations***

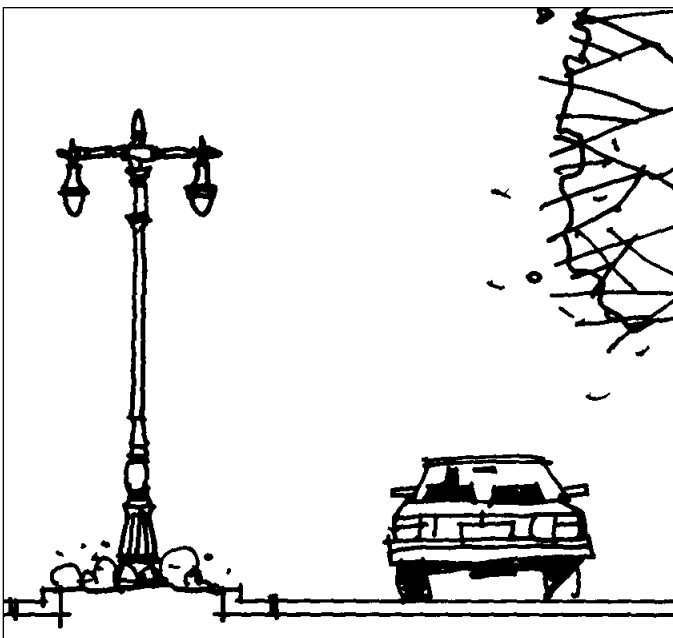
Special gateway monuments and lighting are used to establish a Beacon Hill identity.

### ***Design Guidelines***

- 1 Street lights shall be decorative and blend with the character of the community and conform with all applicable City standards. Special lighting standards applicable to Beacon Hill may be created for specific lighting needs such as parks, alleys and greenways.
- 1 Streets and sites shall be provided with adequate lighting, while minimizing adverse impacts, such as glare and overhead sky glow, on adjacent properties and the public right-of-way.



Decorative light standard with street sign

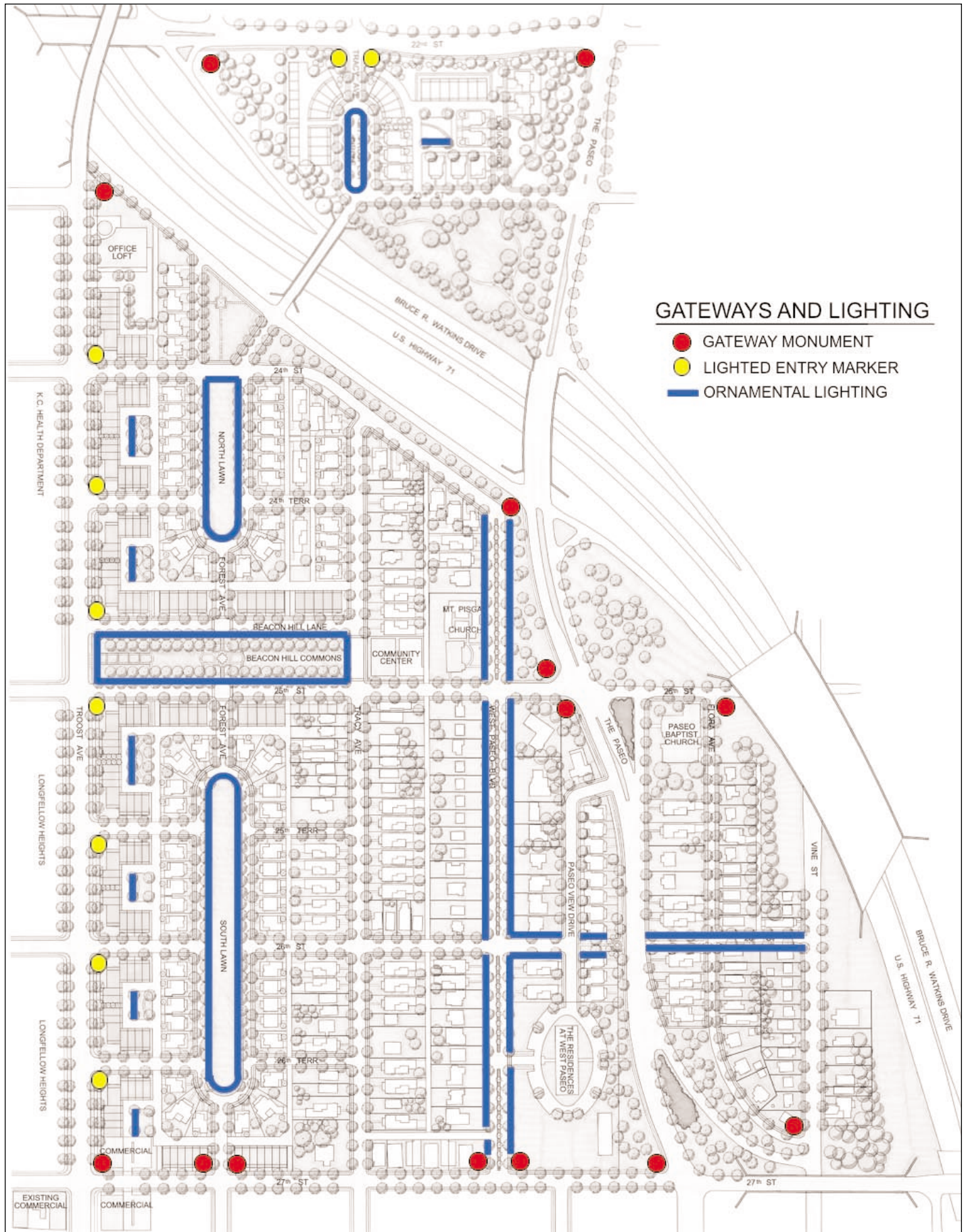


Decorative lighting within median



Traditional Kansas City lighting

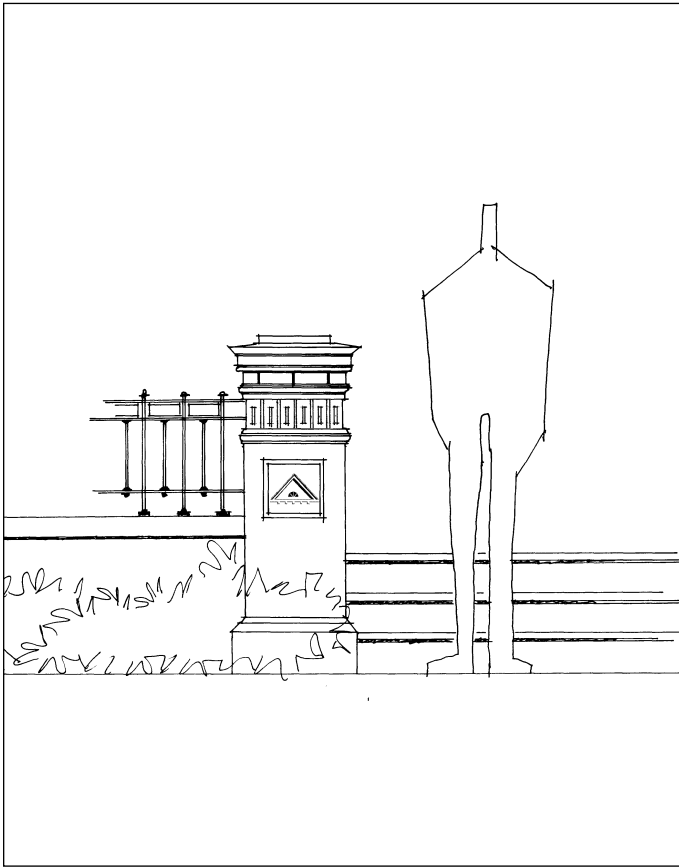




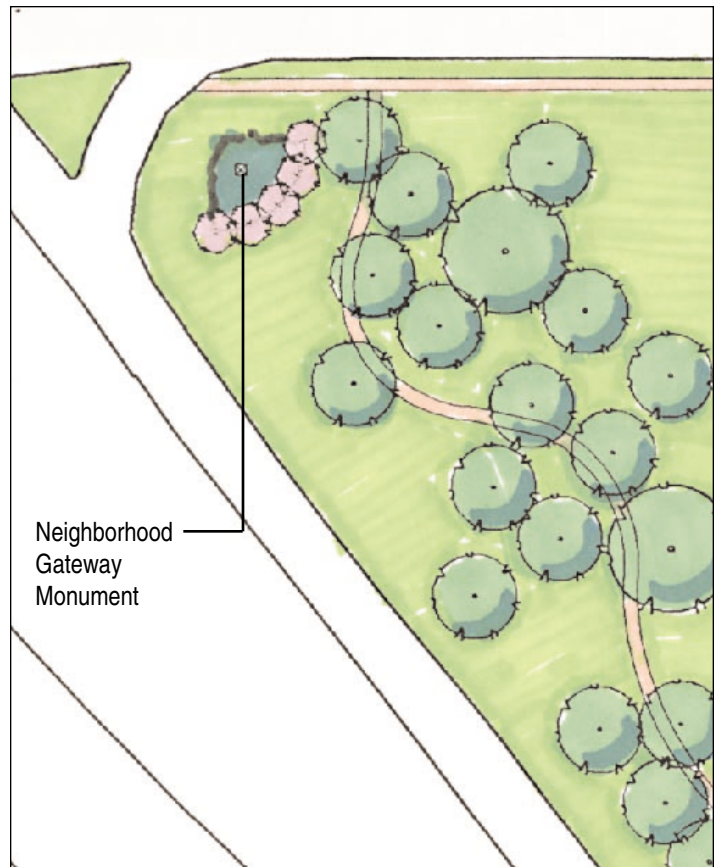
### ***Gateway Monuments***

Gateways and markers identify entrances to Beacon Hill for residents, guests and pass-by traffic. They convey a sense of neighborhood identity and pride.

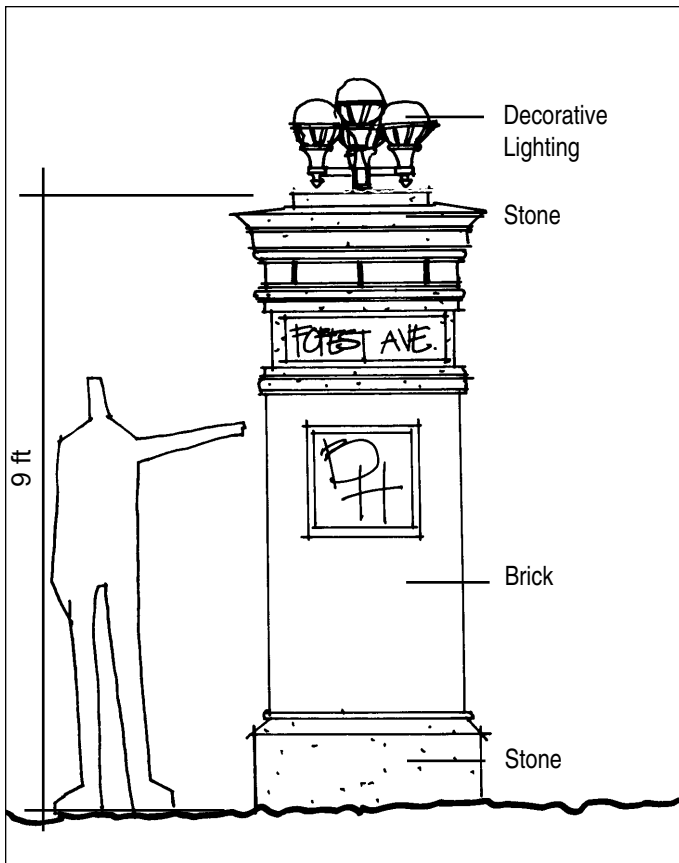




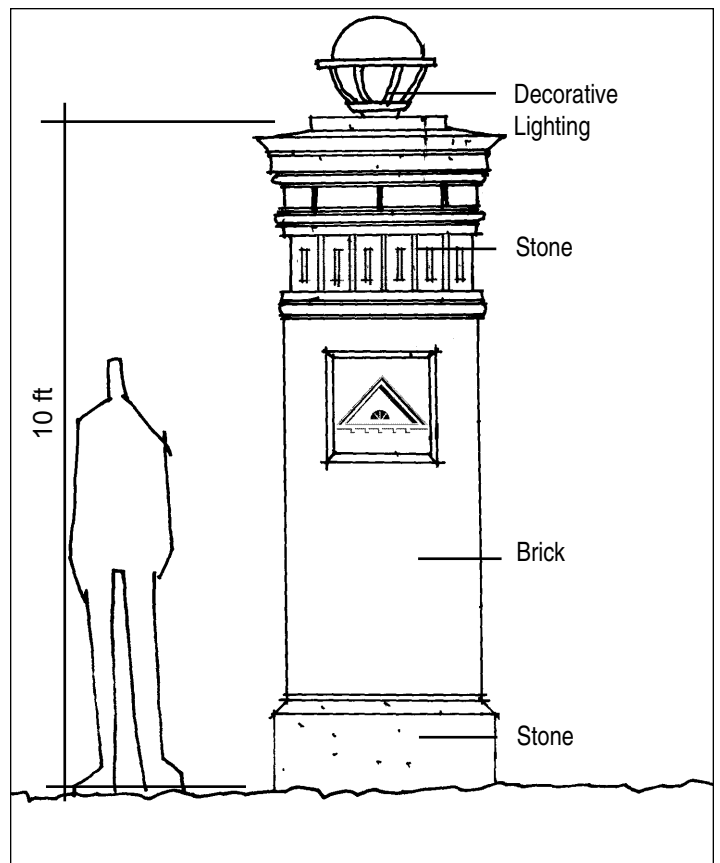
Commons Entry along Troost Avenue



Entry Feature



Marker with Multiple Light Fixture



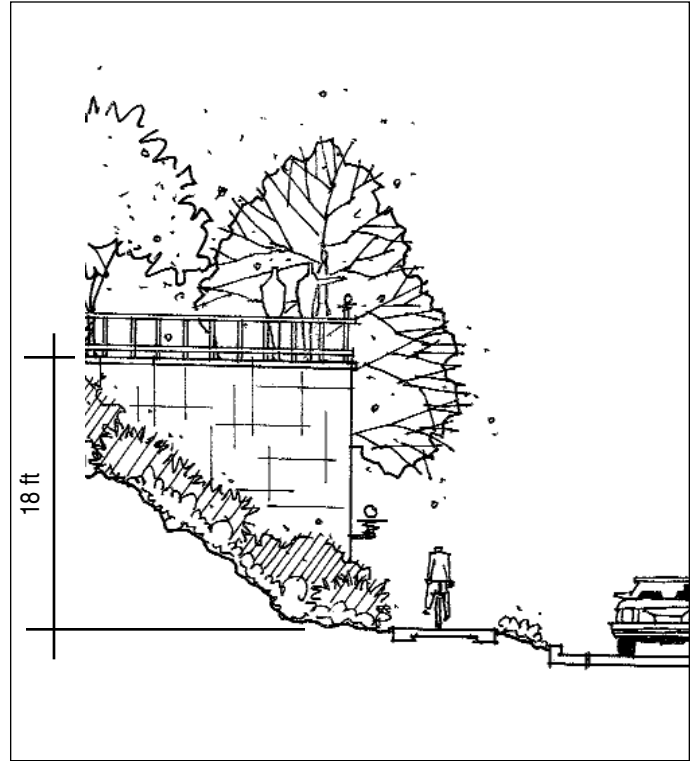
Marker with Single Light Fixture



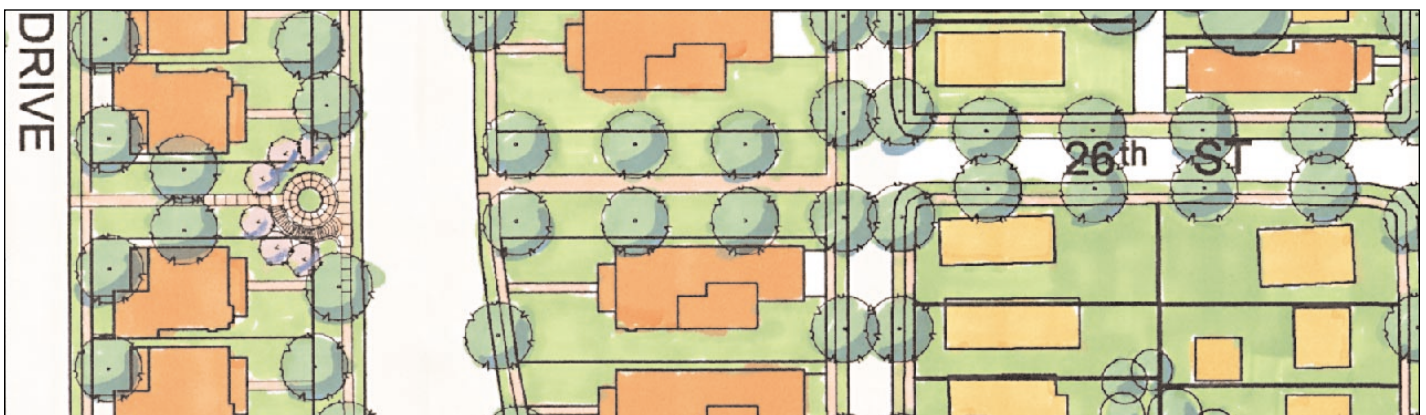
# *community amenities*

## **Overlook**

The overlook is located at the intersection of The Paseo and 26th Street. It provides a pedestrian and visual link from the community to The Paseo and the portion of the neighborhood between The Paseo and Bruce R. Watkins Drive. This axis is visually extended across The Paseo to a landscaped pedestrian way between The Paseo and Flora. Special landscape and lighting treatment physically enhance this axis. The overlook is also designed to accommodate signage for neighborhood identification.



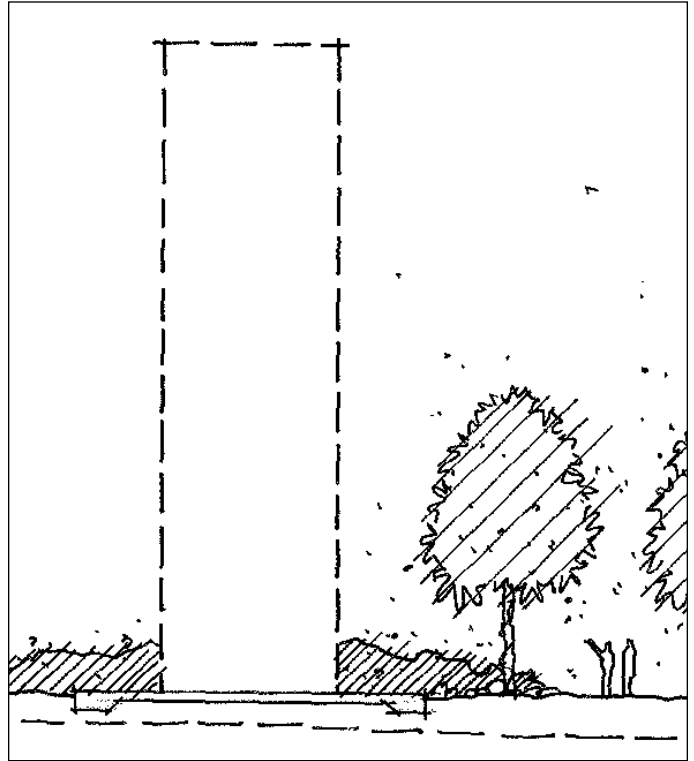
Section through Overlook



Overlook from West Paseo Drive to Vine Street

## ***Beacon Monument***

The beacon serves as the signature feature of the development and provides orientation, location, and a sense of identity for the community. This monument will be visible from many surrounding areas, including Bruce R. Watkins Drive. In addition, its location terminates the north lawn.



Section through Beacon Monument



Beacon Monument along Bruce R. Watkins Drive