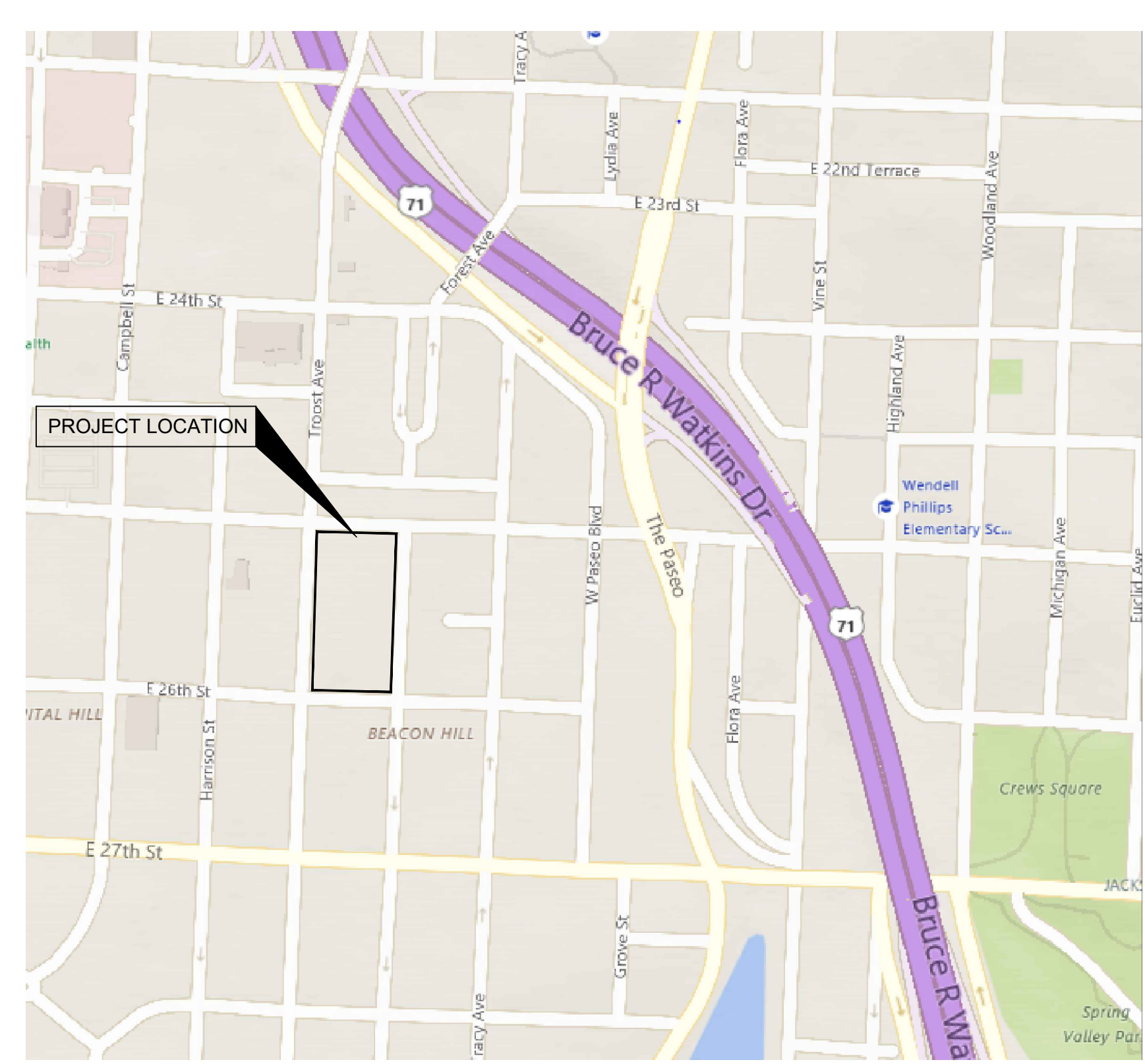
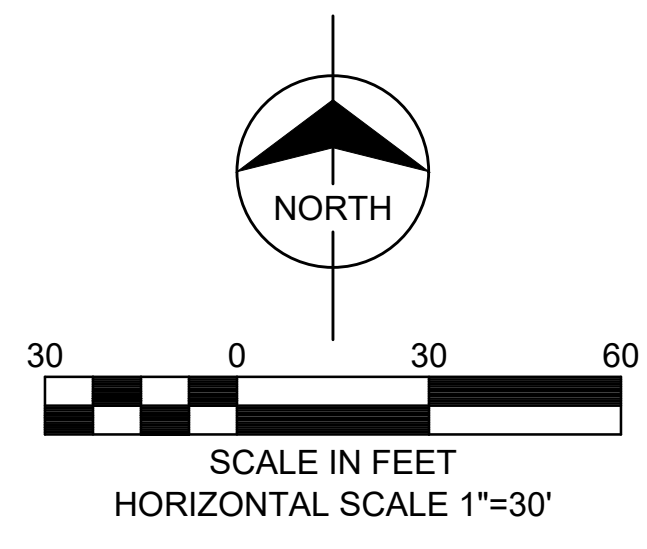


- SHEET LIST:**
- C001 OVERALL SITE LAYOUT PLAN
 - C002 PROPOSED SITE GRADING PLAN
 - C003 PROPOSED UTILITY PLAN
 - L101 - L102 LANDSCAPE PLAN
 - E001 - E002 SITE LIGHTING PLAN
 - A101 EXTERIOR ELEVATIONS
 - A200 - A203 EXTERIOR ELEVATIONS



OWNER:
GSSW
 300 W 11TH STREET
 KANSAS CITY, MISSOURI 64105
 816.391.2029

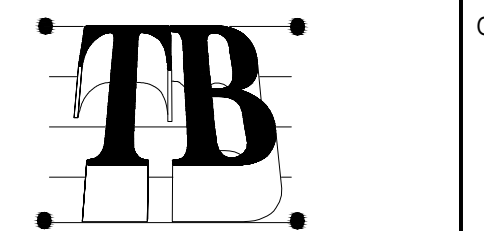
ARCHITECT OF RECORD:
DRAW ARCHITECTURE + URBAN DESIGN LLC
 214 W 21ST ST, SUITE 200
 KANSAS CITY, MO 64108
 T 816-531-8303
 F 816-531-8308

STRUCTURAL ENGINEER:
APEX ENGINEERS, INC.
 1600 BALTIMORE AVE #102
 KANSAS CITY, MO 64108
 T 816-421-3222

MEP ENGINEER:
LANKFORD FENDLER + ASSOCIATES
 1730 WALNUT STREET
 KANSAS CITY, MO 64108
 T 816-221-1411

CIVIL ENGINEER:
TALIAFERRO & BROWNE, INC.
 1020 EAST 8TH STREET
 KANSAS CITY, MO 64106
 T 816-283-3456
 F 816-283-0910

LANDSCAPE:
HOK
 300 WEST 22ND ST.
 KANSAS CITY, MO 64108
 T 816-427-3360



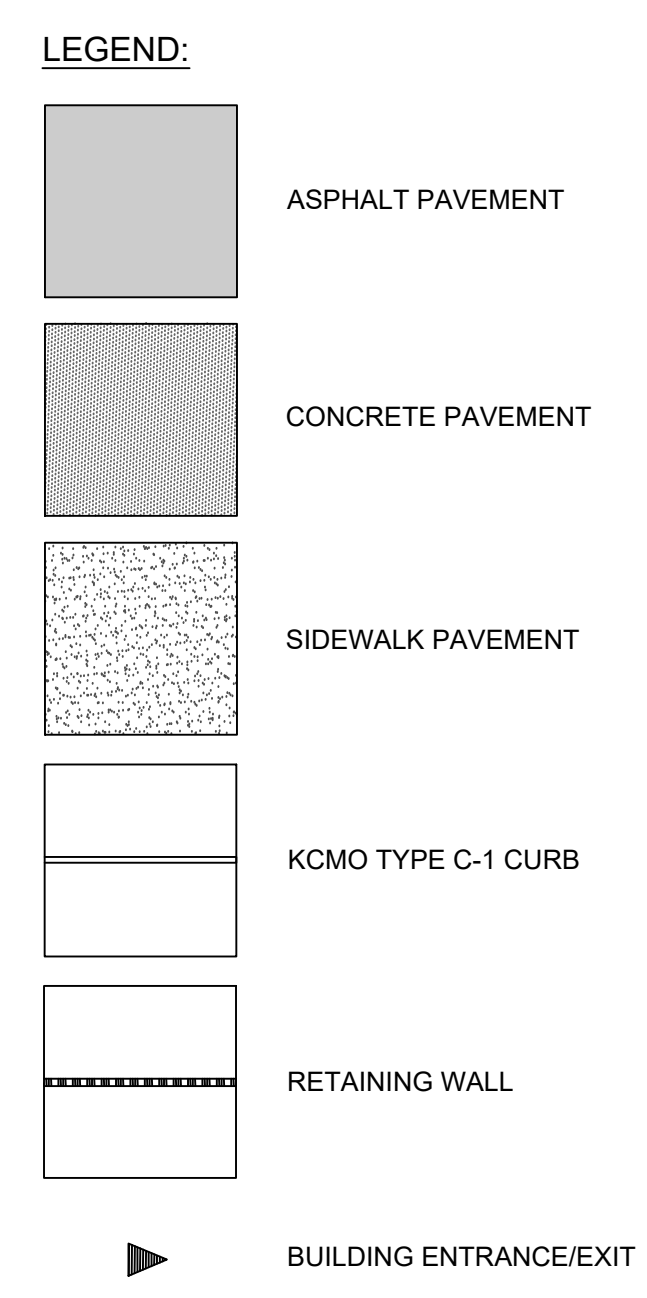
Taliaferro & Browne, Inc.
 Civil / Structural Engineering,
 Landscape Architecture & Surveying
 1020 E. 8th STREET KANSAS CITY, MISSOURI 64106
 PH (816) 283-3456 FAX (816) 283-0810
 PROFESSIONAL ENGINEERING CORPORATION
 MISSOURI LICENSE NO. 000646
 KANSAS LICENSE NO. E-1481
 PROFESSIONAL LAND SURVEYING CORPORATION
 MISSOURI LICENSE NO. 000094

UR REZONING AMENDMENT INFORMATION

- A. ZONING INFORMATION**
 1. EXISTING ZONING: THE PROPERTY IS CURRENTLY ZONED URBAN REDEVELOPMENT DISTRICT (UR)
 2. PROPOSED ZONING: URBAN REDEVELOPMENT DISTRICT (UR)
- B. TOTAL LAND AREA**
 193,106 SQ. FT. (4.43 ACRES) INCLUDING CURRENT PROPERTY AND EXISTING ALLEY/STREET RIGHT-OF-WAY
- C. LAND AREA FOR STREET RIGHT-OF-WAY**
 1. EXISTING ALLEY/STREET RIGHT-OF-WAY: 14,128 SQ. FT. (0.32 ACRES)
 2. PROPOSED STREET RIGHT-OF-WAY: 96.58 SQ. FT. (0.002 ACRES) LAND TO BE DEDICATED TO R/W
 3. PROPOSED REMOVED ALLEY/STREET RIGHT-OF-WAY: 14,128 SQ. FT. (0.32 ACRES) RIGHT-OF-WAY TO BE VACATED
- D. NET LAND AREA**
 193,009.42 SQ. FT. (4.43 ACRES)
- E., F., & G. BUILDING USE AND HEIGHT INFORMATION**

Building No.	Occupancy	Uses	Building Height	Elevation	No. Floors	Fir. No.	Area (sf)	Total Area (sf) All floors	Units/Flr	Total Units	Parking Spaces Required	Parking Spaces for UR, 75 spaces per unit	Parking Spaces Provided on Site
Building 1	A-2 - Assembly	Commercial	57'-6"	988'-6"	6	1	16,694	119,319	0	0	0	0	0
							24,686						
							24,686						
							24,686						
							14,516						
Building 2,3,4	R-2	Residential	36'	Varies 982'-0" - 989'-0"	3	1	3,906	35,162	4	36	36	27	218
							3,907						
							3,907						
Buildings 5 & 6	R-2	Residential	36'	989'-0"	3	1	4,166	24,996	4	24	24	18	218
							4,166						
							4,166						
Buildings 7,8,9 & 10	R-2	Residential	52'-4"	Varies 983'-0" - 989'-0"	4	1	4,085	68,901	4	64	64	48	218
							4,085						
							4,085						
Totals						MEZZ	370	248,378	0	248	248	186	

1. Height above grade is measured from 1st floor elevation to top of parapet.
 2. Total Area (sf) per zoning requirements.
- H. BUILDING COVERAGE AND FLOOR AREA RATIO**
 1. BUILDING COVERAGE: 60.378 SF.
 2. FLOOR AREA RATIO: 1.29
- I. DENSITY**
 1. GROSS DENSITY: 56.0 UNITS/ACRE (BASED ON TOTAL LAND AREA)
 2. NET DENSITY: 56.0 UNITS/ACRE (BASED ON NET PROPOSED LAND AREA)
- J. CAR PARKING SPACES**
 TOTAL CAR PARKING REQUIRED: 248
 TOTAL CAR PARKING PROVIDED: 218
 TOTAL ON-STREET PARKING PROVIDED: 16 PARKING SPACES ON TROOST, 12 ON E 25TH ST, 20 ON FOREST AND 10 ON E 26TH ST
 TOTAL ACCESSIBLE PARKING REQUIRED: 7
 TOTAL ACCESSIBLE PARKING PROVIDED: 10
- K. BIKE PARKING SPACES**
 SHORT TERM PARKING REQUIRED BY ORDINANCE: 22
 SHORT TERM PARKING PROVIDED: 24
 LONG TERM PARKING REQUIRED BY ORDINANCE: 66
 LONG TERM PARKING PROVIDED: 66 (66 WITHIN THE BUILDINGS)
- L. PROJECT TIMELINE: (PROJECT WILL BE CONSTRUCTED IN A SINGLE PHASE)**
 CONSTRUCTION START: APRIL 2019
 CONSTRUCTION END: AUGUST 2020
- M. PROPERTY DESCRIPTION:**
 SEE C002.



PAYMENT IN LIEU OF LAND DEDICATION: THE DEVELOPER ELECTS TO PAY THE CITY OF KANSAS CITY, MISSOURI, A SUM OF \$117,901.65 IN LIEU OF REQUIRED PARKLAND DEDICATION FOR 248 RESIDENTIAL UNITS PURSUANT TO SECTION 88-408-C OF THE ZONING AND DEVELOPMENT CODE.

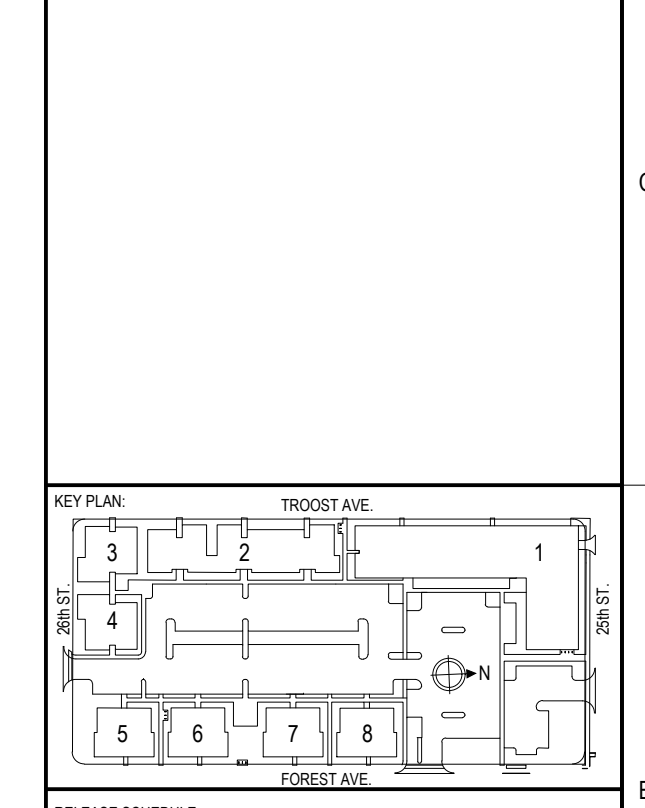
DRAW

25TH AND TROOST
 25th Street and Troost Ave
 Kansas City, MO 64108

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PERSONAL DRAWINGS SCALE TO 3/4" = 1'-0" SHEET
 PRINCIPAL IN CHARGE: **D DAVISON**
 PROJECT ARCHITECT: **S STILL**
 PROJECT ARCHITECT: **D DAVISON**
 PROJECT TEAM MEMBERS: **J REED-SHULTZ** **J HARTMAN**
M TIDWELL **J CRUPPER**

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES, OR IMPLEMENTATION.



2 2018.11.13
 1 2018.10.19
 NO. DATE

OVERALL SITE PLAN
C001

Printed 12/7/2018