

BEACON HILL NEIGHBORHOOD URD REDEVELOPMENT SUBMITTAL

BEACON HILL DEVELOPERS, LC
KANSAS CITY, MISSOURI

PROJECT TEAM

DEVELOPER:
BEACON HILL DEVELOPERS,
LC.
c/o THE ZIMMER COMPANIES
1220 WASHINGTON, SUITE
130
KANSAS CITY, MO 64105
CONTACT: DAN MUSSER
PH: 816/474-2000
FAX: 816/421-6666

URBAN DESIGN AND
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HNTB CORPORATION
715 KIRK DRIVE
KANSAS CITY, MISSOURI 64105

LEGAL:
LATHROP + GAGE
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FAX: 816/292-2001

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1125 GRAND, SUITE 915
KANSAS CITY, MISSOURI 64106

DESIGN ARCHITECT:
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CIVIL
ENGINEERING/SURVEYING:
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1020 EAST 8TH STREET
KANSAS CITY, MISSOURI 64106
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PH: 816/283-3456
FAX: 816/283-0810

- NOTE:
1. This document is a revision and amendment to an existing URD covering the same boundary. Supporting information including an infrastructure evaluation and the original previously approved storm drainage study can be found in the Application for Approval Amended and Restated Development Plan of the Beacon Hill Redevelopment Corporation.
 2. This document and supporting documents are intended to satisfy requirements for both a URD and Preliminary Plat.

BEACON HILL
REDEVELOPMENT
Kansas City, Missouri

SEIDEL/HOLZMAN HNTB
Master Planner Urban Designer
Design Architect Landscape Architect

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NEIGHBORHOOD
URD REDEVELOPMENT
SUBMITTAL

TB Taliaferro & Browne, Inc.
Engineering - Landscape Architecture - Surveying

LOCATION MAP

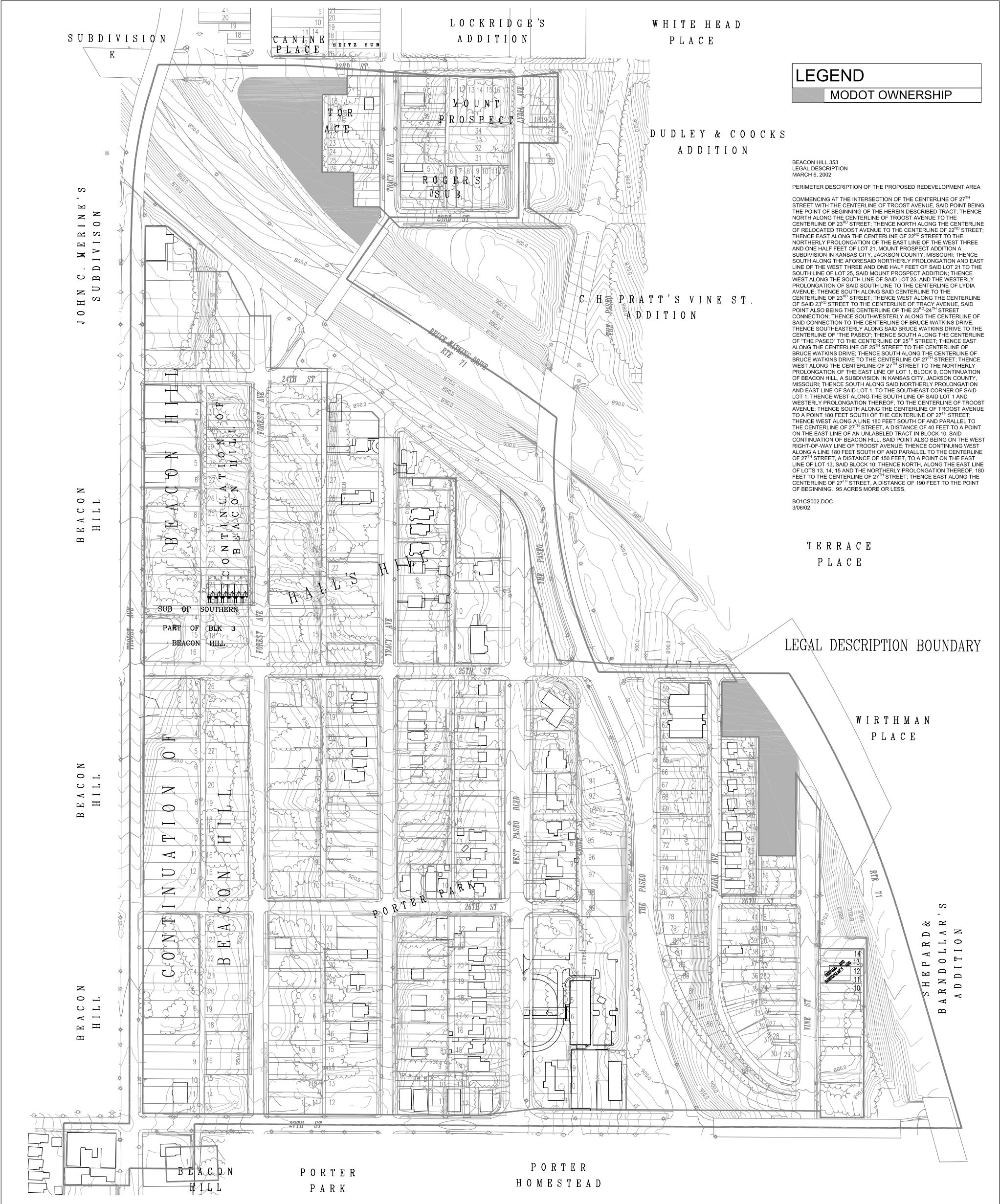


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DEVELOPMENT HANDBOOK

URD SET
TB PROJECT #90-3250
REVISED
DECEMBER 1, 2009

COVER SHEET
URD 1



LEGEND

MODOT OWNERSHIP

BEACON HILL 353
LEGAL DESCRIPTION
MARCH 6, 2002

PERIMETER DESCRIPTION OF THE PROPOSED REDEVELOPMENT AREA

COMMENCING AT THE INTERSECTION OF THE CENTERLINE OF 27TH STREET WITH THE CENTERLINE OF TROOST AVENUE, SAID POINT BEING THE POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT; THENCE NORTH ALONG THE CENTERLINE OF TROOST AVENUE TO THE CENTERLINE OF 23RD STREET; THENCE NORTH ALONG THE CENTERLINE OF 23RD STREET TO THE CENTERLINE OF 22ND STREET; THENCE EAST ALONG THE CENTERLINE OF 22ND STREET TO THE NORTHERLY PROLONGATION OF THE EAST LINE OF THE WEST THREE AND ONE HALF FEET OF LOT 21, MOUNT PROSPECT ADDITION A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI; THENCE SOUTH ALONG THE AFORESAID NORTHERLY PROLONGATION AND EAST LINE OF THE WEST THREE AND ONE HALF FEET OF SAID LOT 21 TO THE SOUTH LINE OF LOT 25, SAID MOUNT PROSPECT ADDITION; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT 25, AND THE WESTERLY PROLONGATION OF SAID SOUTH LINE TO THE CENTERLINE OF LYDIA AVENUE; THENCE SOUTH ALONG SAID CENTERLINE TO THE CENTERLINE OF 23RD STREET; THENCE WEST ALONG THE CENTERLINE OF SAID 23RD STREET TO THE CENTERLINE OF TRACY AVENUE, SAID POINT ALSO BEING THE CENTERLINE OF THE 23RD 24TH STREET CONNECTION; THENCE SOUTHWESTERLY ALONG THE CENTERLINE OF SAID CONNECTION TO THE CENTERLINE OF BRUCE WATKINS DRIVE; THENCE SOUTHEASTERLY ALONG SAID BRUCE WATKINS DRIVE TO THE CENTERLINE OF THE PASCO; THENCE SOUTH ALONG THE CENTERLINE OF THE PASCO TO THE CENTERLINE OF 25TH STREET; THENCE EAST ALONG THE CENTERLINE OF 25TH STREET TO THE CENTERLINE OF BRUCE WATKINS DRIVE; THENCE SOUTH ALONG THE CENTERLINE OF BRUCE WATKINS DRIVE TO THE CENTERLINE OF 27TH STREET; THENCE WEST ALONG THE CENTERLINE OF 27TH STREET TO THE NORTHERLY PROLONGATION OF THE EAST LINE OF LOT 1, BLOCK 9, CONTINUATION OF BEACON HILL, A SUBDIVISION IN KANSAS CITY, JACKSON COUNTY, MISSOURI; THENCE SOUTH ALONG SAID NORTHERLY PROLONGATION AND EAST LINE OF SAID LOT 1, TO THE SOUTHEAST CORNER OF SAID LOT 1; THENCE WEST ALONG THE SOUTH LINE OF SAID LOT 1 AND WESTERLY PROLONGATION THEREOF, TO THE CENTERLINE OF TROOST AVENUE; THENCE SOUTH ALONG THE CENTERLINE OF TROOST AVENUE TO A POINT 180 FEET SOUTH OF THE CENTERLINE OF 27TH STREET; THENCE WEST ALONG A LINE 180 FEET SOUTH OF AND PARALLEL TO THE CENTERLINE OF 27TH STREET, A DISTANCE OF 40 FEET TO A POINT ON THE EAST LINE OF AN UNLABELED TRACT IN BLOCK 10, SAID CONTINUATION OF BEACON HILL, SAID POINT ALSO BEING ON THE WEST RIGHT-OF-WAY LINE OF TROOST AVENUE; THENCE CONTINUING WEST ALONG A LINE 180 FEET SOUTH OF AND PARALLEL TO THE CENTERLINE OF 27TH STREET, A DISTANCE OF 150 FEET, TO A POINT ON THE EAST LINE OF LOT 13, SAID BLOCK 10; THENCE NORTH, ALONG THE EAST LINE OF LOTS 13, 14, 15 AND THE NORTHERLY PROLONGATION THEREOF, 180 FEET TO THE CENTERLINE OF 27TH STREET; THENCE EAST ALONG THE CENTERLINE OF 27TH STREET, A DISTANCE OF 190 FEET TO THE POINT OF BEGINNING. .55 ACRES MORE OR LESS.

B01CS002.DOC
3/06/02

TERRACE
PLACE

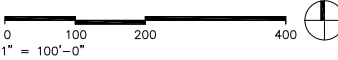
LEGAL DESCRIPTION BOUNDARY

WIRTHMAN
PLACE

SHEPARD &
BARNDOLLAR'S
ADDITION

BEACON HILL
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Kansas City, Missouri

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Engineering - Landscape Architecture - Surveying

LOCATION MAP

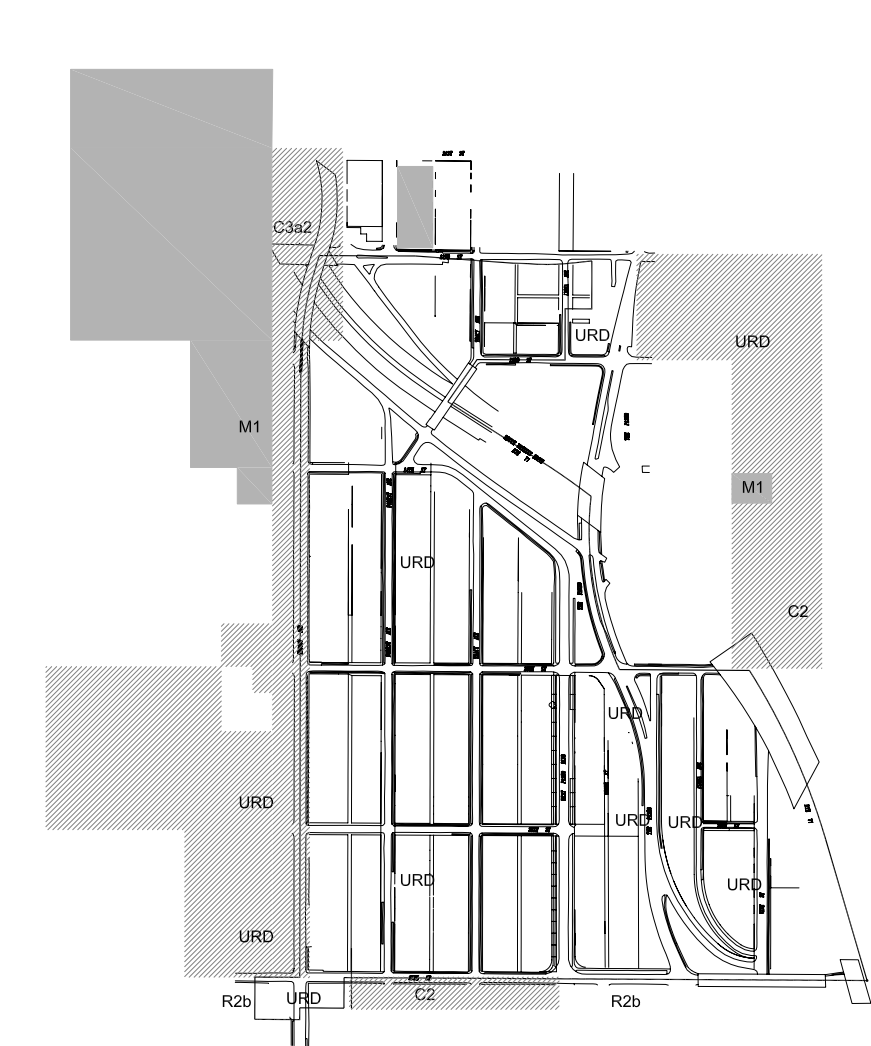


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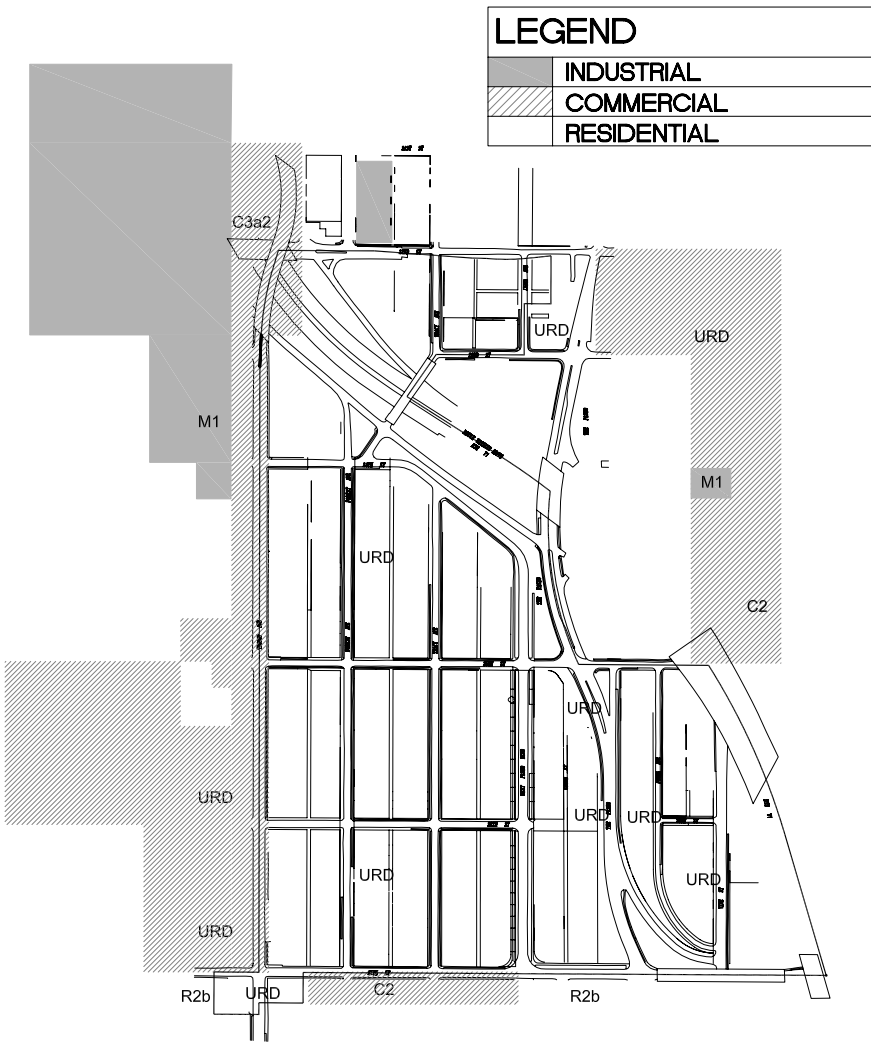
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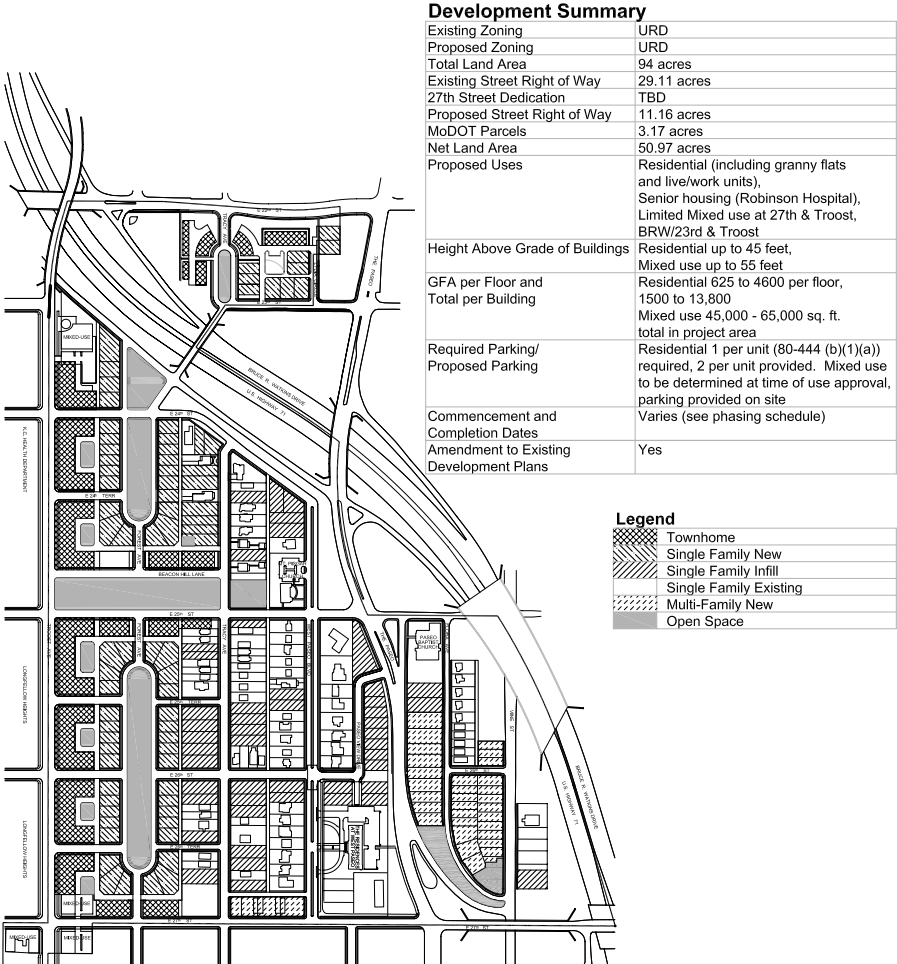
EXISTING CONDITIONS
LEGAL DESCRIPTION
URD 2



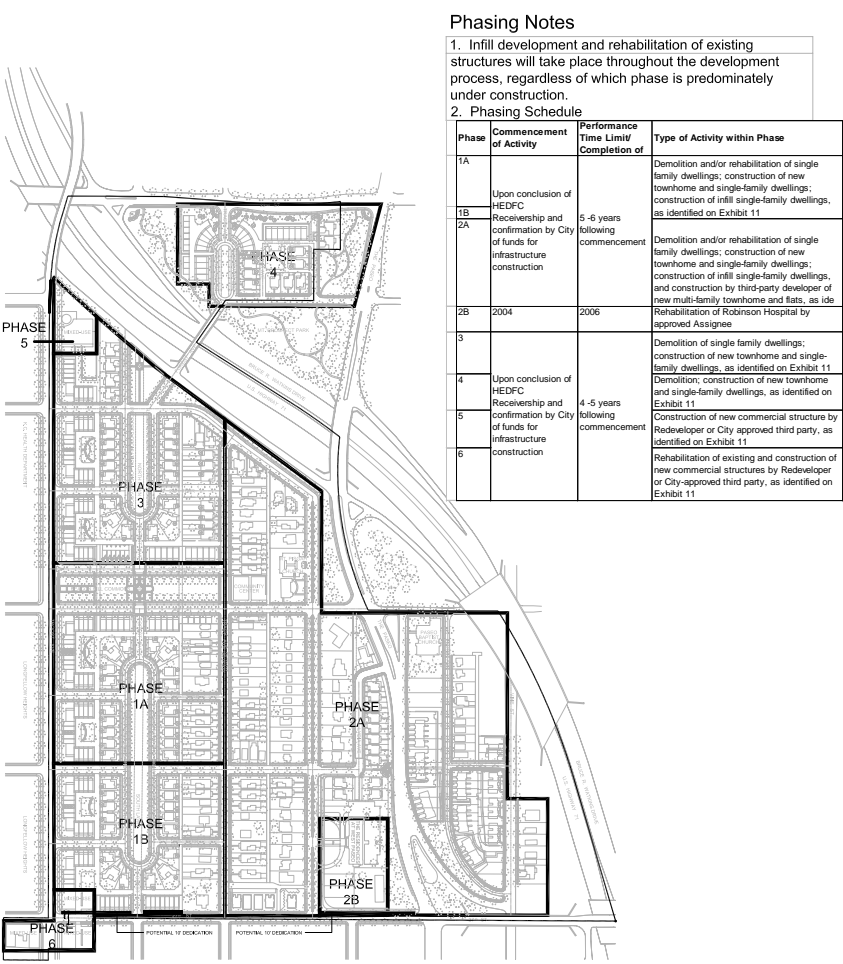
EXISTING ZONING



PROPOSED ZONING



SITE PLAN



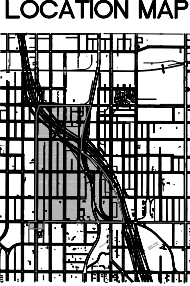
PHASING PLAN

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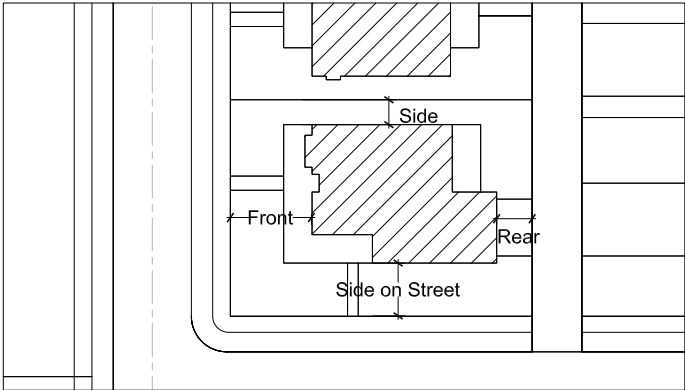
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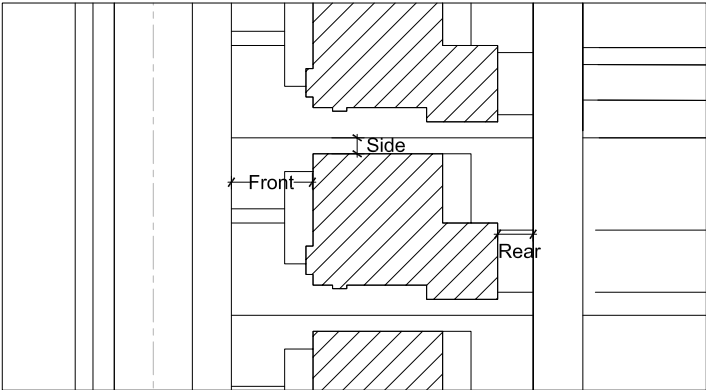
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EXISTING AND PROPOSED ZONING, SITE PLAN, PHASING PLAN
URD 3A



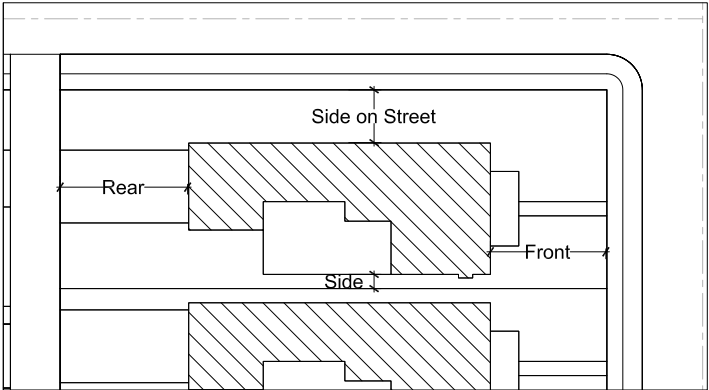
Single Family Corner Lot

- Front setback shall be 25 feet to the primary facade.
- Side setback shall be 4 feet except in the case of garages, which may have no setback.
- On corner lots, the setback on both streets shall follow front yard setbacks.
- Rear yards shall be defined so as to create a contiguous area equal to 15% of the lot.



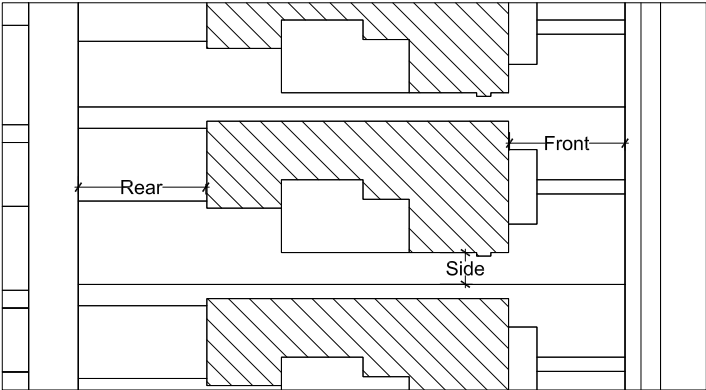
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- Rear yards shall be defined so as to create a contiguous area equal to 15% of the lot.



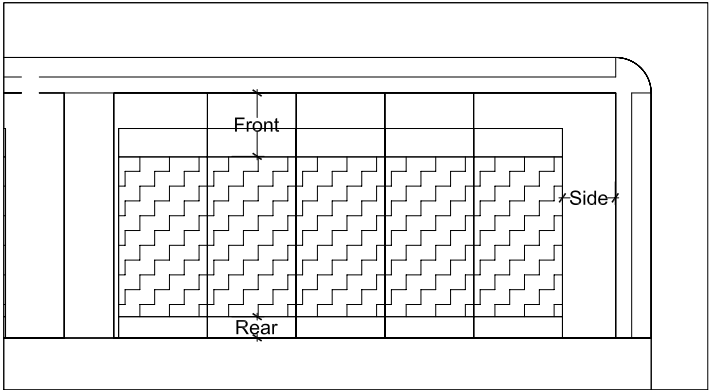
Infill Single Family Corner Lot

- Front setback shall align with the nearest existing single family unit.
- Side setbacks shall be a minimum of 4 feet.
- Rear yards shall exceed 20% of the lot area.
- Garage setbacks shall be 10 feet from the rear property line, where served by a lane.



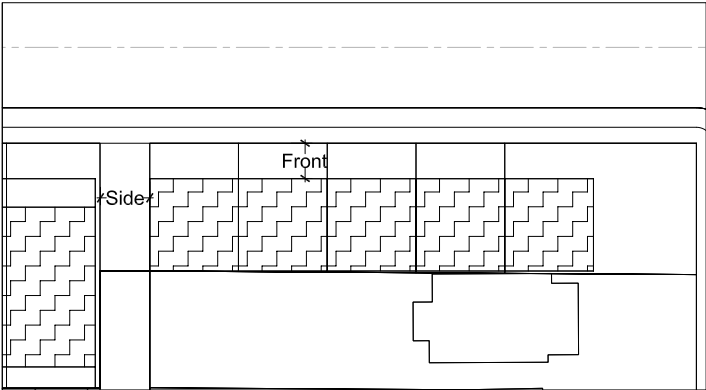
Infill Single Family Lot

- Front setback shall align with the nearest existing single family unit.
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- Rear yards shall exceed 20% of the lot area.
- Garage setbacks shall be 10 feet from the rear property line, where served by a lane.



Townhouse

- Front setback shall be 18 feet minimum.
- Side setbacks on townhouse ends shall be 5 feet minimum.
- Rear setbacks shall be 6 feet minimum.



Lateral Townhouse

- Front setback shall be 0 to 10 feet.
- Side setbacks on townhouse ends shall be 5 feet minimum.
- No minimum for rear setback.

NOTE: BASEMAP IS NOT TO SCALE WITH RESPECT TO SETBACK DISTANCES. CORRECT DISTANCES HAVE BEEN PROVIDED IN THE TEXT BELOW EACH LOT TYPE.

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LOCATION MAP

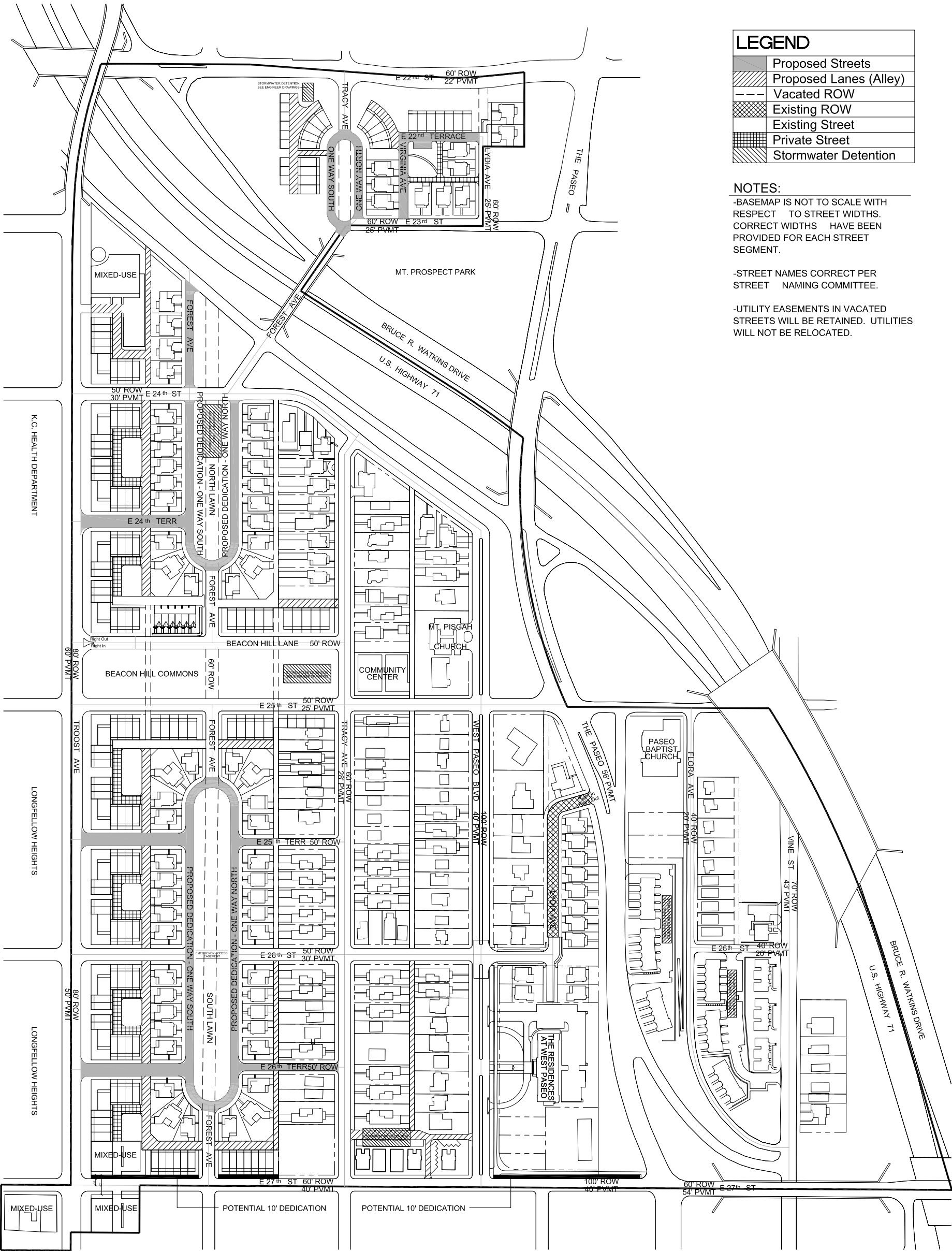


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SETBACKS
URD 3B (2)



LEGEND

	Proposed Streets
	Proposed Lanes (Alley)
	Vacated ROW
	Existing ROW
	Existing Street
	Private Street
	Stormwater Detention

NOTES:

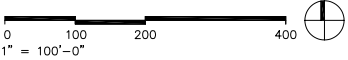
-BASEMAP IS NOT TO SCALE WITH RESPECT TO STREET WIDTHS. CORRECT WIDTHS HAVE BEEN PROVIDED FOR EACH STREET SEGMENT.

-STREET NAMES CORRECT PER STREET NAMING COMMITTEE.

-UTILITY EASEMENTS IN VACATED STREETS WILL BE RETAINED. UTILITIES WILL NOT BE RELOCATED.

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LOCATION MAP

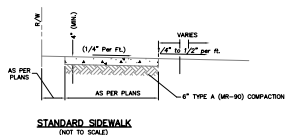


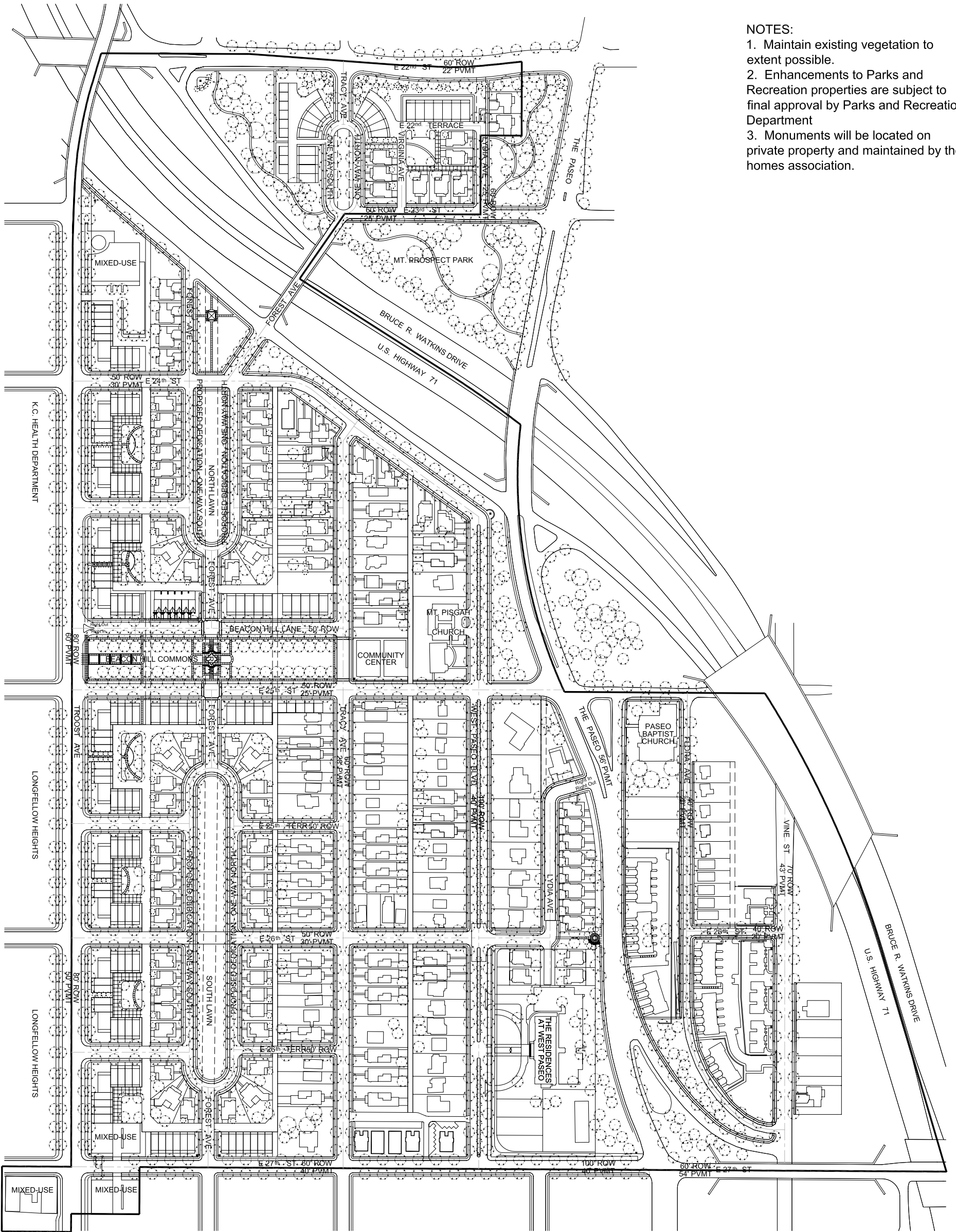
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STREETS AND
STORMWATER PLAN
URD 3C

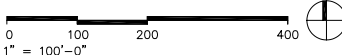
STREET SECTIONS
URD 3D



- NOTES:
1. Maintain existing vegetation to extent possible.
 2. Enhancements to Parks and Recreation properties are subject to final approval by Parks and Recreation Department
 3. Monuments will be located on private property and maintained by the homes association.

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LOCATION MAP

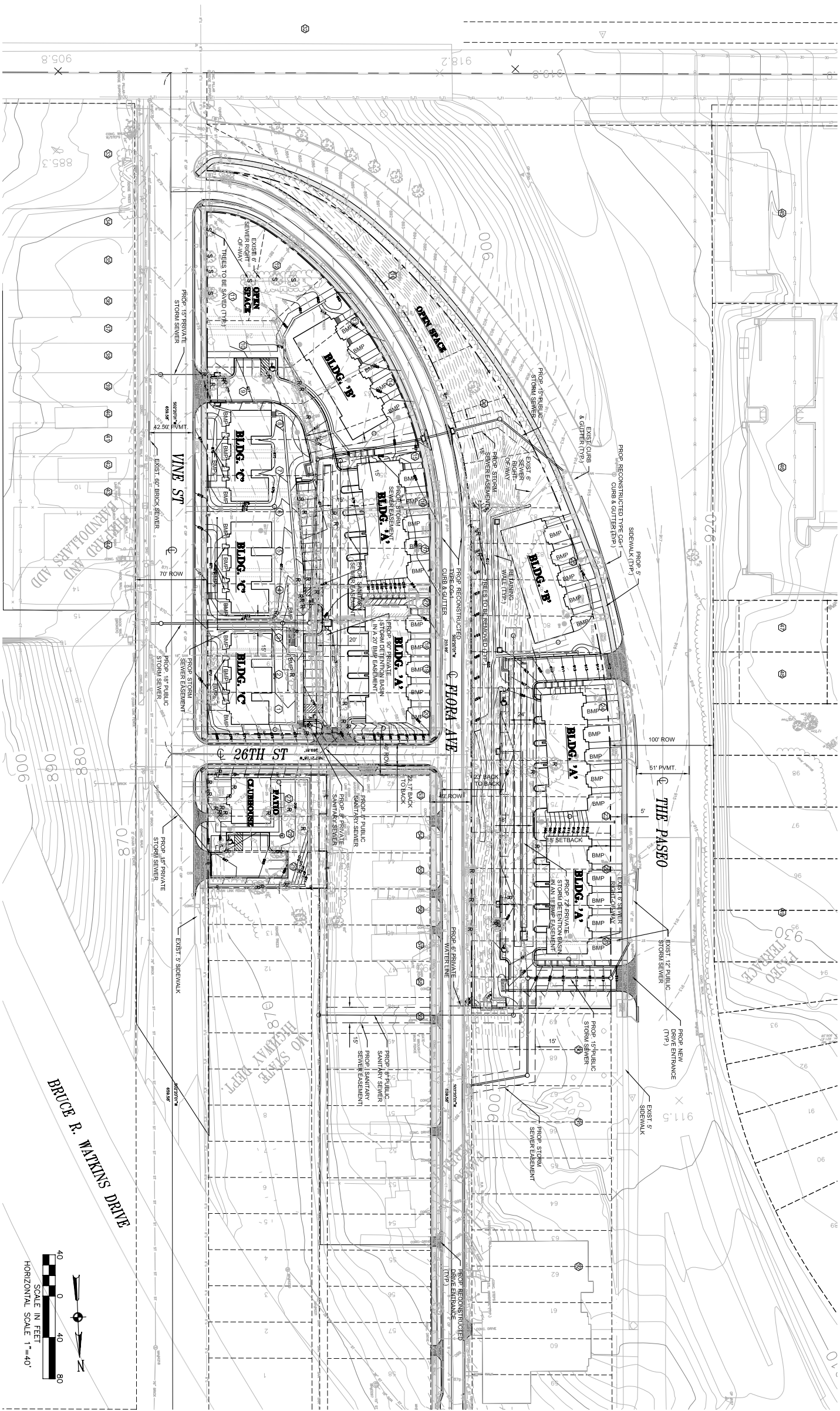


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**LANDSCAPE CONCEPT
PLAN**
URD 4A



Note: Areas labeled "BMP" denote proposed rain gardens.

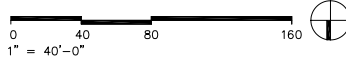
OWNERSHIP INFORMATION		
TRACT NO.	OWNER	ADDRESS
1-26, 34-38, 40, 42-43, 49	HOUSING AND ECONOMIC DEVELOPMENT	4001 BLUE PARKWAY, STE 200 KANSAS CITY, MO 64110
27	BACKLIFE-KC	3700 TRACY AVE KANSAS CITY, MO 64109
28	LUTHER GOLD	2001 ASSEN KANSAS CITY, MO 64112
29	BOWERS MEMORIAL CHRISTIAN METHODIST EPISCOPAL CHURCH	2404 PARK AVE KANSAS CITY, MO 64127
30	LAND OF TRUST OF JACKSON COUNTY, MISSOURI	414 E 12TH ST FLOOR 16 KANSAS CITY, MO 64108
31	LAND OF TRUST OF JACKSON COUNTY, MISSOURI	414 E 12TH ST FLOOR 16 KANSAS CITY, MO 64108
32	THE CITY OF KANSAS CITY	414 E 12TH, FLOOR 16 KANSAS CITY, MO 64108
33	FREDRICK ROANSEY	1681 GLEN AVE PASADENA, CA 91103
34	COADME YANCE	PO BOX 30451 KANSAS CITY, MO 64108
35	CHURCH OF THE LIVING GOD	2811-17 VINE ST KANSAS CITY, MO 64108

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LOCATION MAP

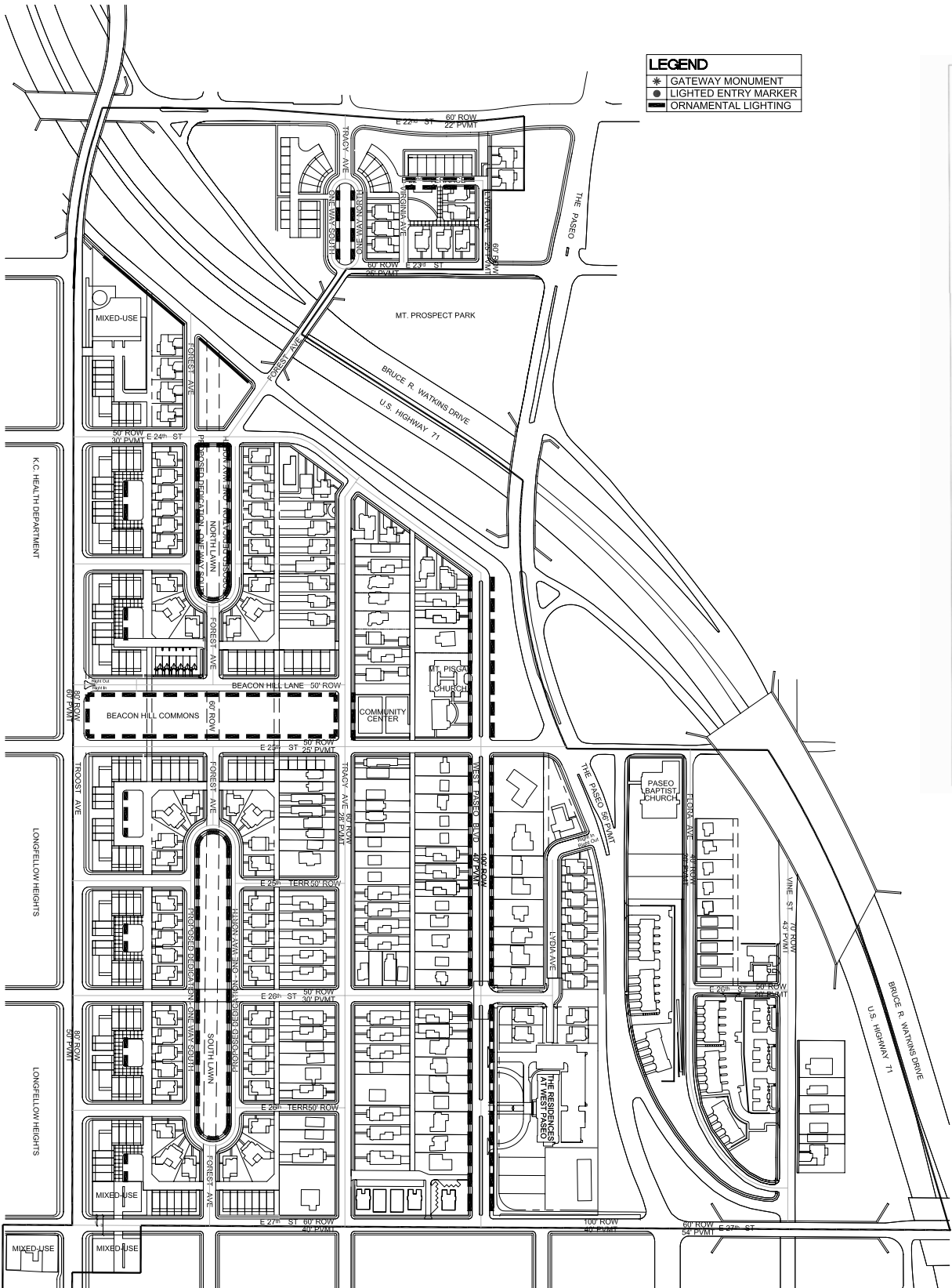


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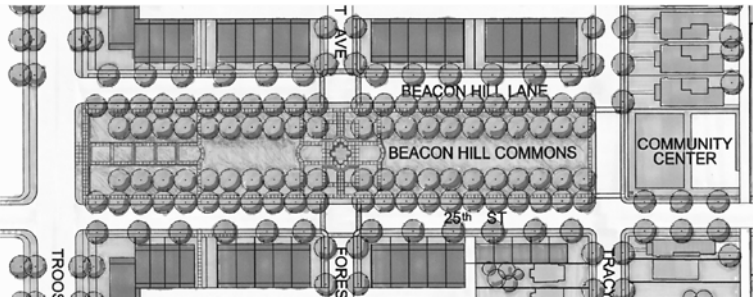
BEACON PARK DEVELOPMENT
URD 5



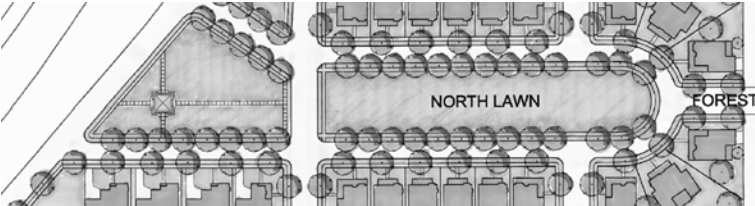
- LEGEND**
- * GATEWAY MONUMENT
 - LIGHTED ENTRY MARKER
 - ORNAMENTAL LIGHTING



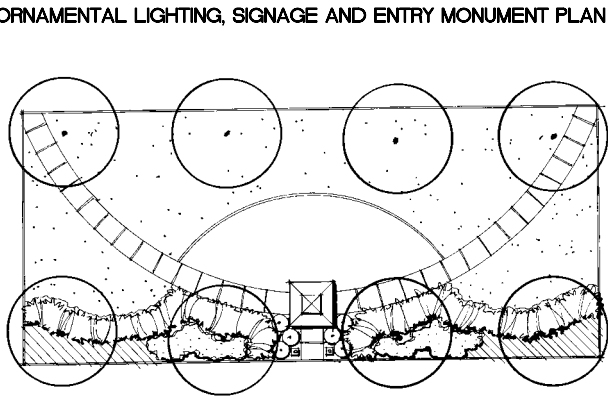
OPEN SPACE PLAN



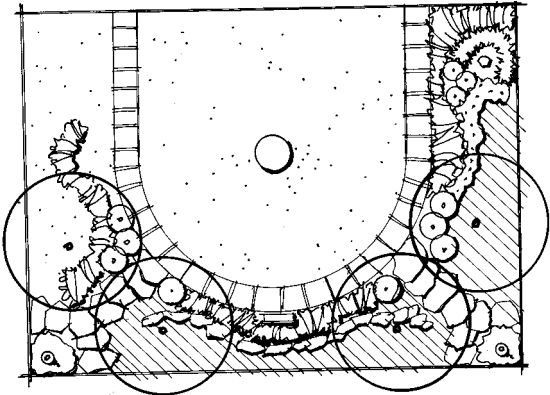
BEACON HILL COMMONS PLAN



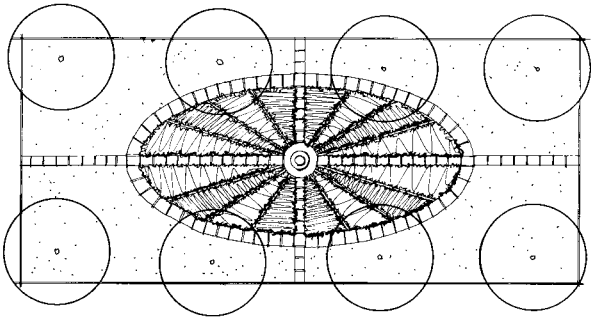
NORTH LAWN PLAN



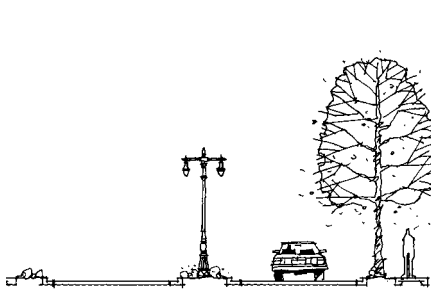
COURTYARD CONCEPT 1



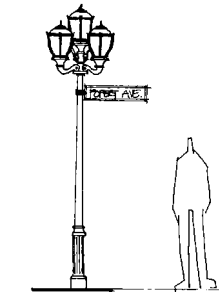
COURTYARD CONCEPT 2



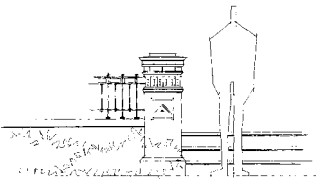
COURTYARD CONCEPT 3



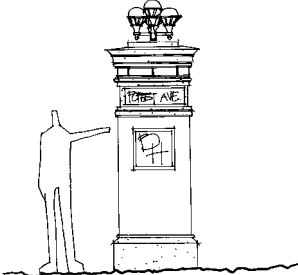
STREETSCAPE CONCEPT



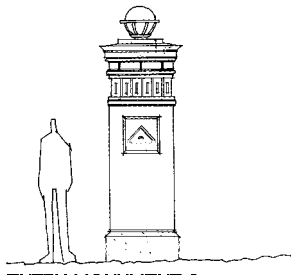
ORNAMENTAL FIXTURE OPTION



ENTRY MONUMENT 1



ENTRY MONUMENT 2



ENTRY MONUMENT 3

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NOT TO SCALE

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**LIGHTING AND SIGNAGE
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